



## Downtown Tillsonburg Business Improvement Area

### AGENDA – OPEN SESSION

Board Meeting - Board of Management – April 29<sup>th</sup>, 2026

7:30 a.m. 10-164 Broadway, Tillsonburg Web link - <https://us02web.zoom.us/j/4147170612>

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#### **1. CALL TO ORDER – 7:30 a.m.**

Members present: TBD

Members on Zoom:

Members absent:

#### **2. MOTION TO ADOPT THE AGENDA**

Moved by: W. Cameron                      Seconded by: B. Parsons

THAT the agenda as prepared for the Board of Management meeting of April 29<sup>th</sup>, 2026, hereby by adopted

#### **3. DISCLOSURE OF PECUNIARY INTEREST**

#### **4. ADOPTION OF THE MINUTES**

Moved by: D. Tosto                      Seconded by: J. Young

THAT the minutes for the Board of Management meeting of March 25<sup>th</sup>, 2026, hereby by adopted.

#### **5. MOTION TO MOVE INTO CLOSED SESSION**

Moved by: B. Parsons                      Seconded by: E. Odorjan

That the Board of Management of the DTBIA moves into Closed Session for the purposes of discussing:

**239 (2) (b) Personal matters about identifiable individuals, including local board employees.**

**Board member(s), BIA employees**

Discussion of HR matters:

- i) Staffing changes
- ii) Realignment of staffing resources
- iii) Staff performance update

**7. PUBLIC MEETINGS**

**8. PLANNING REPORTS**

**8.1.1 121 CONCESSION STREET EAST, FORMER PEAVEY MART**

The DTBIA received notice from the owner of the former Peavey Mart property known municipally as 121 Concession Street East. The proposed use of the site is to convert the single tenant building into a strip mall style development with the anchor being a liquidation-style retail outlet.

Staff recommends to the Board of Management that a letter of support be written to the developer regarding the proposals as the uses are complimentary to and are not competing with the downtown BIA zone.

**MOTION**

Moved by: K. Englander                      Seconded by: B. Thompson

THAT the Board of management of the DTBIA hereby supports the redevelopment of the 121 Concession Street East former Peavey Mart location from box-style retail to a mixed-used strip mall with a liquidation-style retail store as the primary tenant of the development.

**8.1.2 APPLICATIONS FOR OFFICIAL PLAN AMENDMENT AND ZONE CHANGE - OP 26-06-7 AND ZN 7-26-05 (C&A HAIGHT HOLDINGS INC.) 75 HALE STREET – TILLSONBURG – adjacent to BIA zone.**

The BIA received notice on April 10<sup>th</sup>, 2026, regarding the OPA and Zone Change for the property known municipally as 75 Hale Street, which is located just outside of the existing BIA zone, (to the west of Rolph Street).

The proposed development is an in-fill development that will see the addition of 16 rental apartments that are geared to seniors.

Staff recommends to the Board of Management that a positive resolution in support of the project be sent to town council and to County of Oxford planning department.

Increased density in the downtown core area is desirable with a direct benefit to the merchants and businesses in the BIA zone.

**MOTION**

Moved by: B. Parsons                      Seconded by: K. Englander

THAT the Board of Management of the Downtown Tillsonburg BIA hereby supports the Official Plan Amendment and Zone Change for the property known municipally as 75 Hale Street, Tillsonburg.

**8.1.3 51 BROCK ST. E. – BASEMENT CONVERSION TO RESIDENTIAL**

The BIA received notice of an application for Zone Change and Official Plan Amendment whereas the former town office located at 55 Brock St. E., basement portion only, be converted to a residential dwelling.

The following concerns have been identified by BIA staff:

- Insufficient amenity space dedicated to residential use, including the absence of yard or any type of green area(s);
- A limited supply of office space along primary roads within the C1 commercial zone in this area of the downtown;
- A reduction in parking availability, which does not align with current town policies;
- Lack of pedestrian access from Brock Street;

- The potential for setting a precedent for similar developments with respect to other commercial properties within the C1 zone.

Staff does not recommend approval of this application primarily due to the precedent setting nature of a commercial unit being converted to a residential unit with no amenity or green space in addition to the precedent that this would set for other properties in the C1 zone.

### **MOTION**

Moved by: J. Young

Seconded by: D. Tosto

THAT the Board of Management of the Downtown Tillsonburg BIA does not support the Official Plan Amendment and Zone Change for the property known municipally as 51 Brock St. E., Tillsonburg.

- 9. DELEGATIONS**
- 10. DEPUTATION(S) ON COMMITTEE REPORTS**
- 11. INFORMATION ITEMS**
- 12. STAFF REPORTS**

#### **12.1 MARKETING AND EVENTS**

##### **12.1.1 MONTHLY MARKETING REPORT**

In the absence of the EMC, the ED will review the monthly report and metrics as well as give an update regarding the TurtleFest event.

#### **12.2 ECONOMIC DEVELOPMENT**

The following metrics are updated as of April 20<sup>th</sup>, 2026:

Main floor vacancy rate (commercial): 1.7%

Second floor vacancy rate (commercial): 61.8%, significantly impacted by the upper level of the Tillsonburg Town Centre which is largely vacant as is the 2<sup>nd</sup> and 3<sup>rd</sup> floors of the lodge building; above the former Bennett Clothiers;

Residential vacancy rate: 0.5% (London Street East under review)

Downtown properties for sale or lease: Active interest with the remaining few properties. There is still no update or word on the former Bennett Clothiers property. The landlord of the former Flippin' Mikes building is looking for a franchise restaurant to occupy the ground floor commercial space - \$20/sq. ft. rent or \$700,000 for the commercial unit and 2<sup>nd</sup> storey apartments.

The BIA continues to assist and participate with both existing, new and proposed businesses in the central business district.

DTBIA traffic is robust and compares favourably with communities much larger than Tillsonburg. The information including detailed metrics from the Canadian Urban Institute will be used as part of the strategic plan exercise as we move the organization forward.

## **12.3 FINANCE**

### **12.3.1 YEAR-TO-DATE FINANCIAL UPDATE**

Finances continue to track according to the approved budget.

There were multiple MSC-funded positions in Q1 and into April with approximately \$9,120 of wage reimbursements.

Purchase of maintenance and operational items including garbage bags has increased given the on-street conditions driven by higher incidences of dumped articles/items; increase social issues; etc. Increases in staff labour costs allocated to operations is offset by the wage subsidy programs and increased funding of the 2026 MOU.

Cost impacts from TurtleFest are being more closely monitored including labour cost impacts. A separate report regarding management of the project expenses is also contained within this board meeting agenda.

Staff continues to actively pursue generation of non-levy revenues including renewal and new sponsorships for various BIA assets and programs including full cost recoveries for the new work truck.

The year-to-date income is \$17,335.31. This does not include a one time adjustment for legal fees in the amount of \$5,752.10 to be adjusted and recorded to the 2025 fiscal year = \$23,087.41 income for 2026 fiscal year.

There are outstanding credits for wage subsidies and TOC expense reimbursements of approximately \$9,500 not included in the above year-to-date income statement.

Staff continues to closely monitor all revenue and expense items. All invoicing is generated in QBO in real time.

#### **12.4 FAÇADE IMPROVEMENT PROGRAM**

All outstanding payments on approved FIP grant projects have been paid. There are no projects in the pipeline.

There is no approved funding in 2026, (BIA portion).

The board will need to revisit the program funding as part of the 2027 budget deliberations.

The deficient signage at 18-24 Oxford Street has been rectified with much better presentation and aesthetic.

#### **12.5 2026 COWORKING/BUSINESS INCUBATION UPDATE**

Staff has updated coworking tenant income given the recent activity and licensee agreements including the new agreement for last vacant unit on the mezzanine level.

2025 full-year licensee income: \$22,687.91

2026 projected licensee income: \$23,369.09

All available spaces are currently occupied. Licensee fees are expected to increase with the CPI which in Q2-2026 is 1.8%.

Balloons Tillsonburg held their grand opening on Saturday, April 25, 2026 with higher-than-expected traffic.

All other licensees are seeing steady or increasing business results.

## 12.6 TURTLEFEST

The 2025 MOU expired in December 2025. A revised document requires board approval.

The TOC has requested a fixed-price contract for the 2026 event, which is feasible due to positive external funding and would help balance BIA resources. Staff recommend the board consider this contract and discuss an overhaul of the TOC structure before planning for 2027.

See the attached report.

A decision from the Province of Ontario on the \$20,000 Experience Ontario application for 2026 is expected soon.

Staff time and expenses are being closely tracked on a daily basis.

### **MOTION**

Moved by: D. Tosto

Seconded by: K. Englander

THAT the BIA approves a fixed price contract of \$\_\_\_\_\_ . \_\_ for the 2026 festival and further that billable, variable costs as outlined in the revised MOU also be reimbursed to the BIA.

## 12.7 OPERATIONS/MAINTENANCE

The spring clean-up is largely complete.

The winter pots have been totally cleaned up and ready for plantings in late May. The team has also thoroughly cleaned Library Lane and removed all winter debris and perennial dead growth from last season. Locks have been replaced on our receptacles to safeguard against the dumping of household waste.

The ED met with Jesse Goosens and Shane Curtis regarding upgrades and reconstruction of the Broadway/Oxford Parkette which is in generally poor condition. Goosens and Curtis will be facilitating the costs for an overhaul of many parkette elements with the support of town staff. The BIA, Goosens and Curtis met on-site with town staff and Director

Greenway on Tuesday, April 28<sup>th</sup> to ensure alignment and approvals for the works to be completed.

The board will recall that this parkette will be renamed the “Tillson Family Parkette” and will be dedicated as such on the opening day of TurtleFest 2026; June 19<sup>th</sup>.

Deployment of tables and chairs will be deliberate and respect feedback from downtown businesses. New teal-blue umbrellas will be deployed in designated areas to be closely monitored.

The mall plaza area will be set-up with the Tim Hortons logo umbrellas as donated by the Gazley family.

It is expected that due to social issues, the team will need to be vigilant with both deployment of the assets in addition to designating appropriate resources for cleanliness and sanitation.

## **12.8 HUMAN RESOURCES**

The BIA was notified on April 15<sup>th</sup> of a successful grant application for Canada Summer Jobs program. The grant consists of wage reimbursement and MERC’s – (mandatory employment related costs) totalling \$15,854. Staff will complete the steps necessary to meet all program obligations including reporting. See the attachment. The operations team consisting of 5 ambassadors continually receives consistent, positive feedback about their efforts.

## **13. COMMUNITY**

BIA staff continues to be involved in community events and activities.

The ED and EMC attended the TDCC Mayor’s Address on April 15<sup>th</sup>. The ED also attended the Downtown Woodstock BIA AGM and earlier City of Woodstock council meeting. The following peer BIAs have been visited YTD:

Downtown Ancaster Village

Downtown Preston

Argyle Village – London

Downtown Woodstock

West Queen West – Toronto

Queen West – Toronto

Dundas Village – Hamilton

Downtown London

Old East Village – London

Uptown Waterloo

Downtown St. Mary's

Downtown Stratford

The team opted not to attend the 2026 OBIAA conference due to prioritization and cost considerations.

Peer BIA visits, as outlined above, serve as an essential element for benchmarking our progress and identifying areas that require focused improvement.

The DTBIA team remains confident in downtown's leadership across key aspects such as cleanliness, member support, beautification, and overall environment.

Despite ongoing socio-economic challenges, we are committed to adapting and evolving as needed to preserve a healthy, safe, and attractive downtown for residents, visitors, and BIA members.

#### **14. ECONOMIC DEVELOPMENT COMMISSIONER – TOWN UPDATE**

The Development Commissioner will provide a monthly update to the Board of Management.

#### **15. GOVERNANCE**

##### **15.1.1 STRATEGIC PLAN UPDATE**

Chair Bossy and the staff team will proceed with research and planning activities. Documentation and metrics provided by the Canadian Urban Institute will be incorporated into the research, analysis, and development of the draft strategic plan.

##### **15.1.2 2026 INSURANCE REVIEW**

The report is in progress and will be submitted to the board before the end of Q2. The renewed town insurance policy documents/certificate(s) and vehicle insurance slips were received the week of April 1st, 2026.



## Downtown Tillsonburg Business Improvement Area

### **MINUTES** – OPEN SESSION

Board Meeting - Board of Management – March 25<sup>th</sup>, 2026

7:30 a.m. 10-164 Broadway, Tillsonburg Web link - <https://us02web.zoom.us/j/4147170612>

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#### **1. CALL TO ORDER – 7:30 a.m. QUORUM: Yes, 8 of 9**

Members present: M. Bossy, K. Englander, D. Tosto, B. Thompson, E. Odorjan, J. Young

Members on Zoom: B. Thompson, M. Tedesco

Staff present: M. Renaud, V. Fortner

Town staff present: C. Panschow

Members absent: B. Parsons

#### **2. MOTION TO ADOPT THE AGENDA**

Moved by: K. Englander      Seconded by: J. Young

THAT the agenda as prepared for the Board of Management meeting of March 25<sup>th</sup>, 2026, hereby be adopted

CARRIED

#### **3. DISCLOSURE OF PECUNIARY INTEREST**

NONE DECLARED

#### **4. ADOPTION OF THE MINUTES**

MOTION

Moved by: K. Englander

Seconded by: D. Tosto

THAT the minutes as prepared for the Board of Management meeting of February 25<sup>th</sup>, 2026, hereby be adopted.

CARRIED

**5. CLOSED SESSION**

**6. STAFF REPORTS**

**6.1.1 TURTLEFEST ORGANIZING COMMITTEE – RECOMMENDATION**

The Board Chair and ED met with the Coordinator of the TOC to review several items including the MOU, 2025 festival finances, TOC terms of reference, HST rebates and other items relating to the annual festival. To simplify financial processes and streamline oversight, the following motion is presented for consideration by the Board of Management:

Moved by: E. Odorjan

Seconded by: D. Tosto

THAT the TurtleFest Organizing Committee be restructured with the following elements:

- the terms of reference for the TOC be established to clearly outline the standard operating procedures;
- festival funds to be transferred to the BIA TOC designated account; and that the existing TOC account be closed;
- responsibility for financial oversight including audit remains with the Board of Management;
- that a chart of accounts be established within the enterprise software of QBO;
- that the municipally/provincially legislated financial regulations be followed;

- and any other items as directed by the DTBIA Board of Management.

#### DEFERRED

Staff to schedule a separate meeting to review and approve a request to the TurtleFest Organizing Committee regarding committee operations and expectations of the BIA Board of Management. TBD.

#### **6.1.2 EXECUTIVE DIRECTOR MONTHLY UPDATE**

The ED will review the monthly activity and priorities report as attached.

#### **6.1.3 MARKETING – ACTIVATIONS – EVENTS – SOCIAL MEDIA UPDATE**

The marketing lead will review the monthly report titled MKE-03-01 as attached.

#### **MOTION**

Moved by: K. Englander

Seconded by: B. Thompson

THAT the monthly staff reports be received as information.

#### CARRIED

### **7. FINANCE**

#### **7.1.1 FINANCIAL UPDATE**

Q1 is forecasted to have a surplus of approximately \$17,000 +/-.

There are timing considerations for both revenues and expenses.

All TOC revenues are being recorded as invoices in QBO as are the TOC expenses.

March 2026 income statement includes one-time only expenses as follows:

**\$5,752.10 for professional fees – a journal entry to be made for 2025 year-end to reallocate these from 2026 to 2025.**

**\$2,605.58 for unforeseen electrical repairs resulting from town poles not having GFI outlets which has subsequently damaged BIA-owned LED lights.**

There are 4 current employees on wage subsidy programs which requires up-front payment with reimbursement following submission of pay statements.

Wages paid to Employment Ontario placements in March 2026, results in \$3,000 +/- of wages subject to reimbursement.

CIBC auto-deposit functions are still problematic with revenue transactions not being recorded to the correct/designated bank account. This creates manual accounting entries.

Staff will follow-up on all action items.

### **7.1.2 SPOT AUDITS – STATEMENTS & TRANSACTIONS**

A monthly sign-off form has been created to document that the treasurer and 1 additional member of the board has documented that each has reviewed identified transactions to note accuracy, authenticity and for compliance with accounting principles.

This will be in effect forthwith and will be reported monthly.

### **7.1.3 CASH FLOW MANAGEMENT**

Staff members, including the Treasurer and accountant, are engaged in and responsible for overseeing incoming cash flows.

The levy payment for the first quarter is anticipated on or around 27 March 2026.

The full-year 2025 HST public sector rebate is expected to be distributed immediately following the completion of the annual audit.

All invoicing activities are now recorded in QBO in real time; consequently, **invoices will no longer be generated using Word or Excel.**

#### **7.1.4 UPDATES TO 2027 + 10-YEAR FINANCIAL FORECASTS**

Staff have updated the 2027 and subsequent year budgets/forecasts as events impact revenues and expenses.

As noted in the ED report, the 2027 levy increase assumption has been reduced to a 2% increase as has future years, pending review and approval by the board.

There were no action items.

### **8. PUBLIC MEETINGS**

### **9. PLANNING REPORTS – FOLLOW-UP**

The team has had regular meetings with various parties regarding ongoing development applications. These meetings facilitate open communications with the parties and proactively seeks to provide input to both County planning and town council.

The following updates are provided subsequent to previous meetings and engagements:

671 Broadway – Northgate Plaza: ongoing discussions with the developer. The board will recall that the plaza owner will pay an annual fee of \$6,000/year x 20 years = \$120,000 in aid of marketing the downtown.

690 Broadway – Jacob Hiebert development: proactive engagement and communications to influence the commercial component of the project. The DTBIA may seek a similar financial arrangement pending a review of the specific businesses to be in this newly proposed development. It is understood that the applicant for said property wishes to break ground in the spring 2026.

693 Broadway – McDonald's Restaurant: the DTBIA supported in principle this development as it does not materially affect the function of the central commercial area.

121 Concession Street East – former Peavey Mart location: The team is actively engaged with KerMar Holdings to provide feedback and suggestions for uses of this space that complimentary to and not compete with the downtown central core area.



**17. BY-LAWS/RESOLUTIONS**

**18. TO CONFIRM PROCEEDINGS RESOLUTION**

**MOTION**

Moved By: D. Tosto

Seconded By: K. Englander

THAT resolution 2026-03-01 to Confirm the Proceedings of the Board Meeting held on March 25th, 2026, be read for a first, second, third and final reading and the Chair and Executive Director, hereby be authorized to sign the same, and place the corporate seal thereunto.

CARRIED

**18.1 CONFIRMING RESOLUTION 2026-03-01**

**Meeting of 03/25/2026.**

**19. ITEMS OF PUBLIC INTEREST/ROUNDTABLE**

The Development Commissioner requested that a section of the meeting agenda be dedicated to economic development updates.

**20. ADJOURNMENT**

Moved By: K. Englander

Seconded By: D. Tosto

THAT the Board meeting of March 25<sup>th</sup>, 2026, hereby be adjourned at 9:05 a.m.

CARRIED



FILE NO: ZN 7-26-05

DATE RECEIVED: March 4, 2026

### TOWN OF TILLSONBURG APPLICATION FOR ZONE CHANGE

1. Registered Owner(s):

Name: C+A Haight Holdings Inc. Phone: Residence: (519) 532-2656  
Address: 887630 Township Rd 11, Bright, ON, N0J 1B0 Business: (519) 532-2656  
Postal Code: N0J 1B0 E-mail: clayhaight@hotmail.com

Applicant (if other than registered owner):

Name: \_\_\_\_\_ Phone: Residence: \_\_\_\_\_  
Address: \_\_\_\_\_ Business: \_\_\_\_\_  
Postal Code: \_\_\_\_\_ E-mail: \_\_\_\_\_ Fax: \_\_\_\_\_

Solicitor or Agent (if any):

Name: \_\_\_\_\_ Phone: Business: \_\_\_\_\_  
Address: \_\_\_\_\_ Fax: \_\_\_\_\_  
Postal Code: \_\_\_\_\_ E-mail: \_\_\_\_\_

All communications will be sent to those listed above. If you **do not** wish correspondence to be sent to the

Owner,  Applicant, or  Solicitor/Agent, please specify by checking the appropriate box.

Name and address of any holders of any mortgage, charges or other encumbrances (if known):

CompuShare Trust Company of Canada, 106-205 Carnegie Dr., St Albert, AB, T8N 5B2

2. Subject Land(s):

a) Location:

Municipality Town of Tillsonburg former municipality \_\_\_\_\_  
Concession No. \_\_\_\_\_ Lot(s) \_\_\_\_\_  
Registered Plan No. 500 Lot(s) 738 W  
Reference Plan No. \_\_\_\_\_ Part(s) 739 W, 744  
The proposed lot is located on the West side of Hale Street, lying between  
Valleyview Lane Street and Washington Grand Ave. Street.  
Street and/or Civic Address (911#): 75 Hale St, Tillsonburg, ON, N4G 4J3

b) Official Plan Designation:

Existing: Entrepreneurial District  
Proposed: Site Specific Entrepreneurial District

If the proposed designation is different than the existing designation, has an application for Official Plan Amendment been filed with the County of Oxford?  No  Yes

c) Zoning: Present: EC-R(H)  
 Proposed: Special EC-R with site specific provisions for height and interior side yard setbacks

d) Uses: Present: Multi-family Residential  
 Proposed: (Include description) Multi-family Residential (geared towards senior tenants)

3. Buildings/Structures:

For all buildings/structures, either existing or proposed on the subject lands, please supply the following information:

<u>Existing/Proposed</u>	<input type="checkbox"/> None Existing Building 1	<input type="checkbox"/> None Proposed Building 2
Use:	<u>Residential</u>	<u>Residential</u>
Date Constructed (if known):	<u>~1960</u>	
Floor Area: (Lot Coverage)	<u>4580 sq.ft.</u>	<u>8566 sq.ft.</u>
Setbacks:		
Front lot line	<u>60.4 M</u>	<u>40.7 M</u>
Side lot lines	<u>7.1 M</u>	<u>5M</u>
Rear lot line	<u>21.6 M</u>	<u>21.6 M</u>

Please complete for residential, commercial/industrial or institutional uses.

	RESIDENTIAL	COMMERCIAL/ INDUSTRIAL	INSTITUTIONAL
TYPE Apt., semi, townhouse, retail, restaurant, church, etc.	<u>Multi-family</u>		
# OF UNITS	<u>12</u>		<u>N/A</u>
CONVERSION/ADDITION TO EXISTING BUILDING	<u>16</u>		
Describe			
TOTAL # OF UNITS/BEDS	<u>N/A 28</u>	<u>N/A</u>	
FLOOR AREA by dwelling unit or by type (office, retail common rooms, etc.)	<u>N/A</u>		
OTHER FACILITIES (playground, underground parking, pool, etc.)	<u>N/A</u>		
# OF LOTS (for subdivision)	<u>N/A</u>		<u>N/A</u>
SEATING CAPACITY (for restaurant, assembly hall, etc.)	<u>N/A</u>		
# OF STAFF	<u>N/A</u>		
OPEN STORAGE REQUIRED?	<u>N/A</u>		<u>N/A</u>
ACCESSORY RESIDENTIAL USE?	<u>N/A</u>	If accessory residential use, complete residential section	If accessory residential use, complete residential section

4. Site Information (proposed use(s):

Lot Frontage	<u>76'-3"</u>	Exterior Side Yard (corner lot)	<u>N/A</u>
Lot Depth	<u>329'-1"</u>	Landscaped Open Space (%)	<u>84.9% 35291 sq.ft.</u>
Lot Area	<u>41570 sq.ft.</u>	No. of Parking Spaces	<u>37</u>
Lot Coverage	<u>20.6%</u>	No. of Loading Spaces	<u>0</u>
Front Yard	<u>40.7 M</u>	Building Height	<u>14.5 M</u>
Rear Yard	<u>21.6 M</u>	Width of Planting Strip	<u>N/A</u>
Interior Side Yard	<u>5 M</u>	Driveway Width	<u>~6 M</u>

5. Services: (check appropriate box)

Existing Proposed

Water supply Publicly owned and operated piped water system
Privately owned and operated individual well
Other (specify)

[X] [X]
[] []
[] []

Sewage Disposal Publicly owned and operated sanitary sewer system
Privately owned and operated individual septic tank
Other (specify)

[X] [X]
[] []
[] []

Storm Drainage Municipal Sewers
Municipal Drains
Ditches
Swales

[] []
[X] []

6. Access:

Provincial Highway
County Road
Municipal Road maintained all year
Municipal Road seasonally maintained
Unopened Road Allowance
Right-of-Way owned by
Other (specify)

[] []
[] []
[X] []
[] []

7. General Information:

a) Is the Subject Land the subject of regulations for flooding or fill and construction permits of the Long Point Region Conservation Authority?
[] No [X] Yes

If yes, has an Application been filed with the Conservation Authority?
[X] No [] Yes

b) Present land use(s) of adjacent properties:

c) Characteristics of subject land (check appropriate space(s) and add explanation, if necessary)

(i) Does the land contain environmental features such as wetlands, woodlots, watercourses, etc.?

[X] No [] Yes If yes, describe

(ii) Has any part of the land been formally used for any purpose other than agricultural purposes?

[X] No [] Yes

If yes, describe former use:

8. Historical Information:

a) Is the subject land the subject of a current Application for Consent to the Oxford County Land Division Committee or a current application for draft plan of subdivision to the County of Oxford?

[X] No [] Yes -> Application No.

b) Have the subject land(s) ever been the subject of any other application under the Planning Act, such as an application for approval of an Official Plan amendment, a zoning by-law amendment, a Minister's Zoning Order amendment, consent, a minor variance, or approval of a plan of subdivision?

[] No [X] Unknown

[] Yes -> File No. Status/Decision

c) If known, the date the subject land was acquired by the owner?

d) If known, the length of time that the existing uses of the subject land have continued?

**Authorization of Owner(s) for Applicant/Agent to Make the Application**

I/We, Clay Haight, am/are the owner(s) of the land that is the subject of this application for zone change and I/We authorize \_\_\_\_\_, to make this application on my/our behalf.

Date March 4<sup>th</sup> 2026 Signature of Owner(s) [Signature] Signature of Owner(s) \_\_\_\_\_

**THIS SECTION TO BE COMPLETED IN THE PRESENCE OF A COMMISSIONER FOR TAKING AFFIDAVITS**

I/We Clay Haight of the township of Blanford - Blenheim in the County of Oxford,

**DO SOLEMNLY DECLARE THAT:**

All of the prescribed information contained in this application is true and that the information contained in the documents that may accompany this application is true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

DECLARED before me at the city of Woodstock in the County of Oxford this 4 day of March 2026.

[Signature]  
Owner(s)/Applicant  
Owner(s)/Applicant

[Signature]  
A Commissioner for Taking Affidavits

Brittany Amanda Fisler, a Commissioner, etc.,  
Province of Ontario, for the  
County of Oxford. Expires March 21, 2027

**Notes:**

1. Applications will not be considered complete until all requested information has been supplied.
2. It is required that **one original** of this application (including the sketch/site plan) be filed, accompanied by the applicable fee of **\$2,822.00** in cash, debit, or cheque, payable to the **Treasurer, Town of Tillsonburg**. A fee of \$5,464.00 will be charged if an application is required 'after the fact' (after the use has occupied the site).

**Municipal Freedom of Information and Protection of Privacy Act – Notice of Collection & Disclosure**

The collection of personal information on this form is legally authorized under Sec.34 of the *Planning Act* and O.Reg.545/06 for the purpose of processing your planning application. Questions about this collection should be directed to the Director of Community Planning at the County of Oxford, 21 Reeve St., P.O. Box 1614, Woodstock, ON N4S 7Y3 or at 519-539-9800 (ext.3207).

Pursuant to Sec.1.0.1 of the *Planning Act*, and in accordance with Sec.32(e) of the *Municipal Freedom of Information and Protection of Privacy Act*, it is the policy of the County of Oxford to make all planning applications and supporting material available to the public.

**COUNTY OF OXFORD**

**APPLICATION FOR AN AMENDMENT  
TO THE OFFICIAL PLAN**

**SECTION ONE - GENERAL INFORMATION**

**1. Registered Owner(s): (AS NAME APPEARS ON TITLE)**

Name: C+A Haight Holdings Inc.  
Address: 887630 Township Rd 11  
Bright, ON  
Email Address: clayhaight@hotmail.com

Phone: \_\_\_\_\_  
Cell: (519) 532-2656  
Postal Code: N0J 1B0

**2. Applicant (if other than registered owner):**

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
Email Address: \_\_\_\_\_

Phone: \_\_\_\_\_  
Cell: \_\_\_\_\_  
Postal Code: \_\_\_\_\_

**3. Solicitor or Agent:**

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
Email Address: \_\_\_\_\_

Phone: \_\_\_\_\_  
Cell: \_\_\_\_\_  
Postal Code: \_\_\_\_\_

**4. Location of Subject Land:**

Municipality Town of Tillsonburg  
Lot(s) 738W  
Lot(s) \_\_\_\_\_  
Part(s) 739W, 744

Former Municipality \_\_\_\_\_  
Concession \_\_\_\_\_  
Registered Plan No: 500  
Reference Plan No: \_\_\_\_\_

The subject land is located on the West side of Hale (St./Rd./Ave./Line)  
lying between Valleyview Lane and Washington Grand (St./Rd./Ave./Line)  
Street and/or 911 Address (if any): 75 Hale St, Tillsonburg, ON, N4G 4J3

OFFICE USE ONLY		
<u>MARCH 4, 2026</u>		<u>000330066</u>
Date Application Received Date	Prescribed Information Complete	PIN

**SECTION TWO - OFFICIAL PLAN INFORMATION** (Complete sections only where applicable)

5. Purpose of requested Amendment: adding 16 units to existing building, geared towards seniors.

6. Is the application consistent with the Provincial Planning Statement, 2024, as amended? Yes  No   
(see Item No. 9 in the application guide)

7. Is this a request for an Amendment to a Schedule(s) of the Official Plan: No (yes/no) If yes, complete the following:

SCHEDULE (E.G. C-3)	TITLE	DESIGNATION OF SITE	USES PERMITTED
<b>Existing:</b>			
<b>Proposed:</b>			

8. Is this a request for an Amendment to the text of the Official Plan: Yes (yes/no) If yes, complete the following:

- a) Chapter, Section and Subsection title Section 8.3.2 3.2.3 Specific Development Policies
- b) Is this section / subsection to be: Changed  Replaced  Deleted
- c) If changed/replaced, proposed text of Amendment add side specific amendment to permit increase density (allow for 30 units per acre instead of 25 units per acre.)

**SECTION THREE – DESCRIPTION OF DEVELOPMENT** (If specific development is proposed, complete the following)

9. Present Use of Subject Land: Multi-family residential

10. Description of Existing Building(s) or Structure(s) on Subject Land: (Date of construction, present use)  
~ 1960 built, 12 unit multi-family building, 2 1/2 storeys

11. Proposed Use of Subject Land: (Description of Applicant's Proposal) add 16 units to existing building, all residential, geared towards senior tenants.

12. Proposed Buildings or Structures associated with the Proposed Land Use:

(include information regarding alteration to or demolition of existing buildings or structures)

Add addition to existing building, 4 storeys, 16 units residential

13. For proposed Residential development, specify:

a) Gross or Net Density/Hectare 74 units per hectare

b) No. of Units 28 Type of Units multi-family residential

14. For proposed Commercial, Industrial, Institutional or Recreational development, specify:

a) Gross Floor Area (by type of uses)

b) Proposed Uses

SECTION FOUR – SITE INFORMATION AND SERVICES

15. Dimensions of Subject Land: (in metric units)

a) Area 41570 sqft.

b) Frontage 76'-3"

c) Depth 329'-1"

16. Access to Subject Land:

Provincial Highway

Unopened Road Allowance

County Road

Private Right-of-Way

Municipal Road

Other (specify)

17. Adjacent Land Uses: (Indicate nature of adjacent land uses) Residential, Recreational

18. Services:

	MUNICIPAL WATER	MUNICIPAL SEWER	PRIVATE WATER	PRIVATE SEWER**
CONNECTED (YES/NO)	yes	yes		
TYPE (INDIVIDUAL/COMMUNAL)				

Municipal Storm Sewers

Municipal Drain  (Please check one)

\*\*Note: If the requested amendment involves development on a privately owned and operated individual or communal septic system and more than 4500 litres per day of effluent will be produced as a result of the completed proposal, the applicant must submit a servicing options report and a hydrogeological report.

SECTION FIVE - ZONING BY-LAW

19. Municipal Zoning By-Law Number: EC-R(H)

Existing Zoning of Subject Land By-law #: 3295

20. Has an application for Zone Change been filed?

Yes

No

If yes, describe the proposed zoning of the subject land ec R

**SECTION SIX – OTHER INFORMATION**

21. If the subject land, or any land within 120 meters of it, is the subject of an application by the applicant for a minor variance, a consent or consent and minor variance, an amendment to the Official Plan, a zoning by-law amendment, a Minister's zoning order, or approval of a plan of subdivision or site plan, please provide the file number, the name of the approval authority considering it, the land it affects, its purpose, its status, and its effect on the requested amendment.

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22. If the requested amendment proposes to alter all or any part of the boundary of a designated settlement area or proposes to establish a new settlement area, please provide the current section containing policies of the Official Plan dealing with the alteration or establishment of a designated settlement area.

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23. If the requested amendment proposes to remove the subject land from an area of employment, please provide the relevant section of the Official Plan dealing with the removal of land from an area of employment.

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**THIS SECTION TO BE COMPLETED IN THE PRESENCE OF A COMMISSIONER FOR TAKING AFFIDAVITS**

I / We Clay Haight  
of the Blandford-Blenheim in the Oxford  
(Township or Municipality) (County or Region)

DO SOLEMNLY DECLARE THAT:  
All of the prescribed information contained in this application is true and that the information contained in the documents that may accompany this application is true.

DECLARED before me at the city  
of Woodstock in the  
County of Oxford  
this 4 day of March 2026.

[Signature]  
Owner / Applicant  
  
[Signature]  
Owner / Applicant

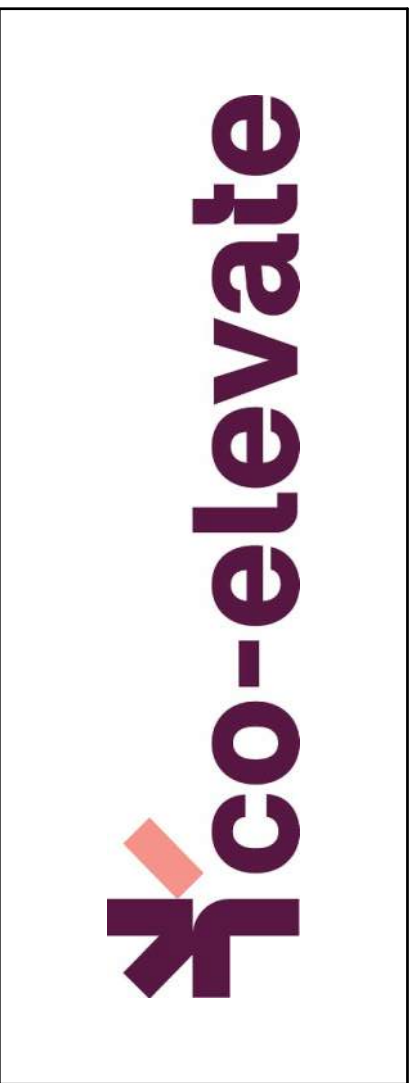
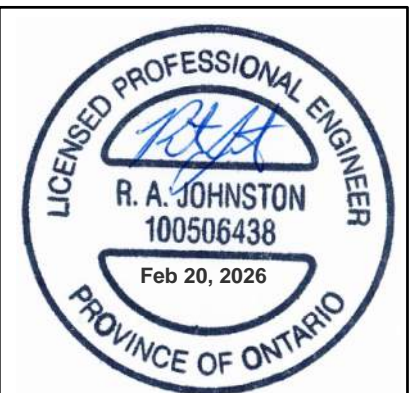
[Signature]  
A Commissioner for Taking Affidavits

Brittany Amanda Fisler, a Commissioner, etc.,  
Province of Ontario, for the  
County of Oxford. Expires March 21, 2027

**MFIPPA Notice of Collection & Disclosure**

The collection of personal information on this form is legally authorized under Sec.22 of the *Planning Act* and O.Reg.543/06 for the purpose of processing your planning application. Questions about this collection should be directed to the Director of Community Planning at the County of Oxford, 21 Reeve St., P.O. Box 1614, Woodstock, ON N4S 7Y3 or at 519-539-9800 (ext.3912).

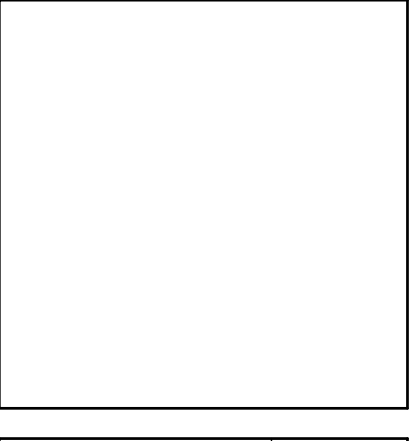
Pursuant to Sec.1.0.1 of the *Planning Act*, and in accordance with Sec.32(e) of the *Municipal Freedom of Information and Protection of Privacy Act*, it is the policy of the County of Oxford to make all planning applications and supporting material available to the public.



REV. NO.	DATE	DESCRIPTION
1	2026-02-19	ISSUED FOR REVIEW

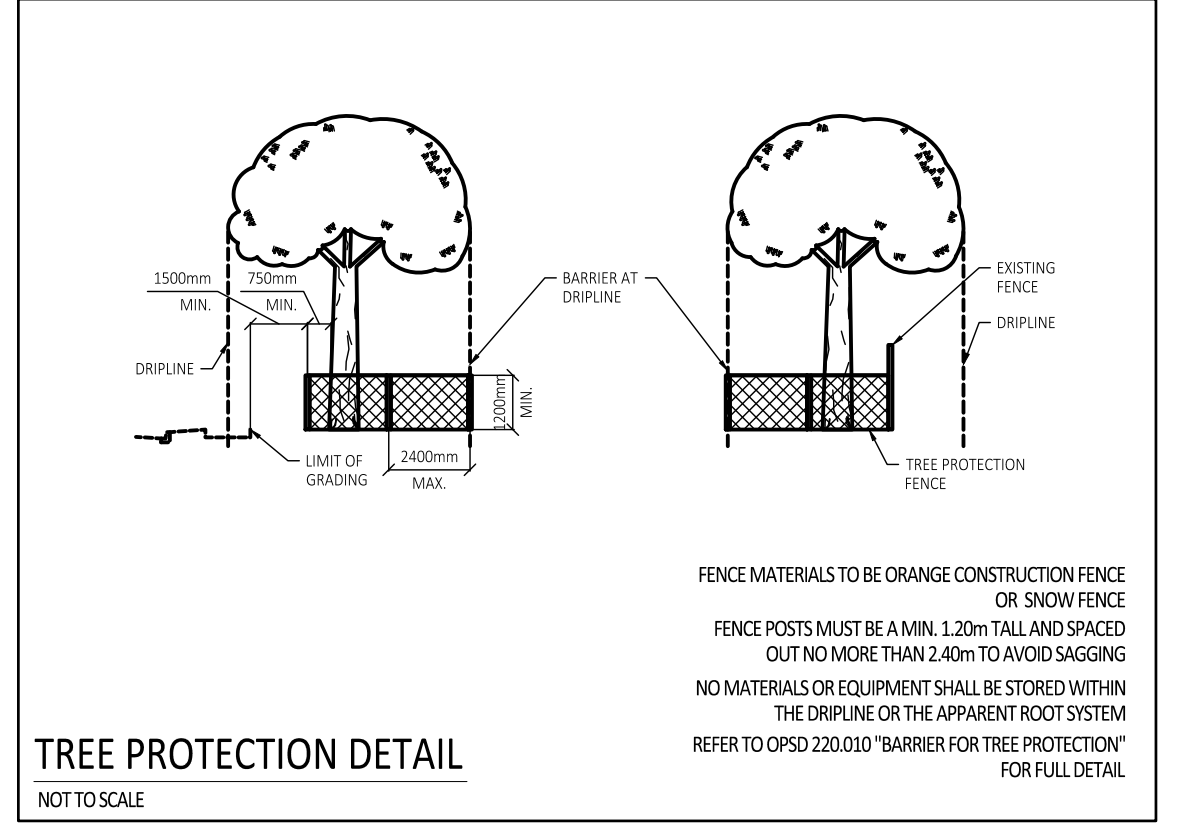
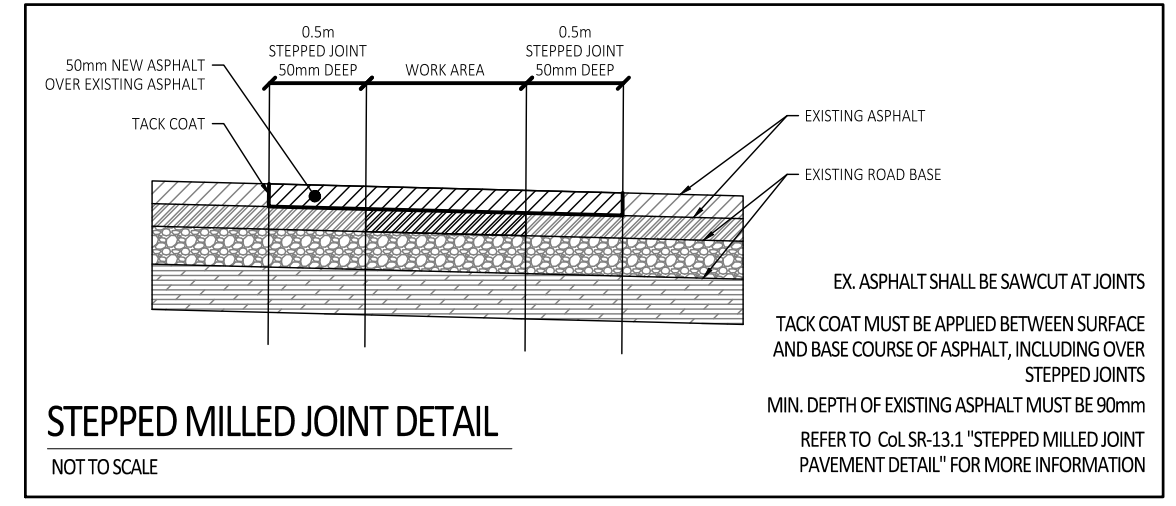
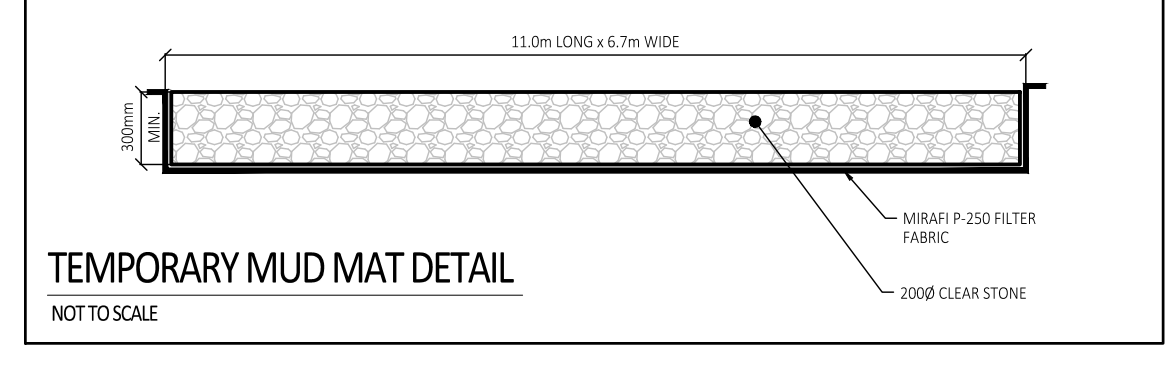
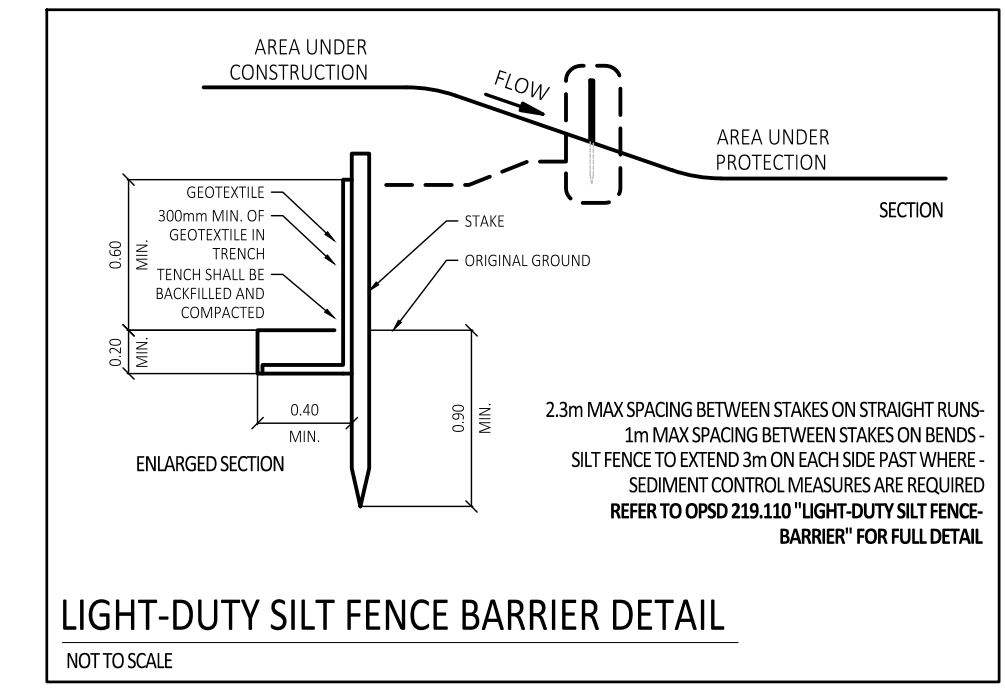
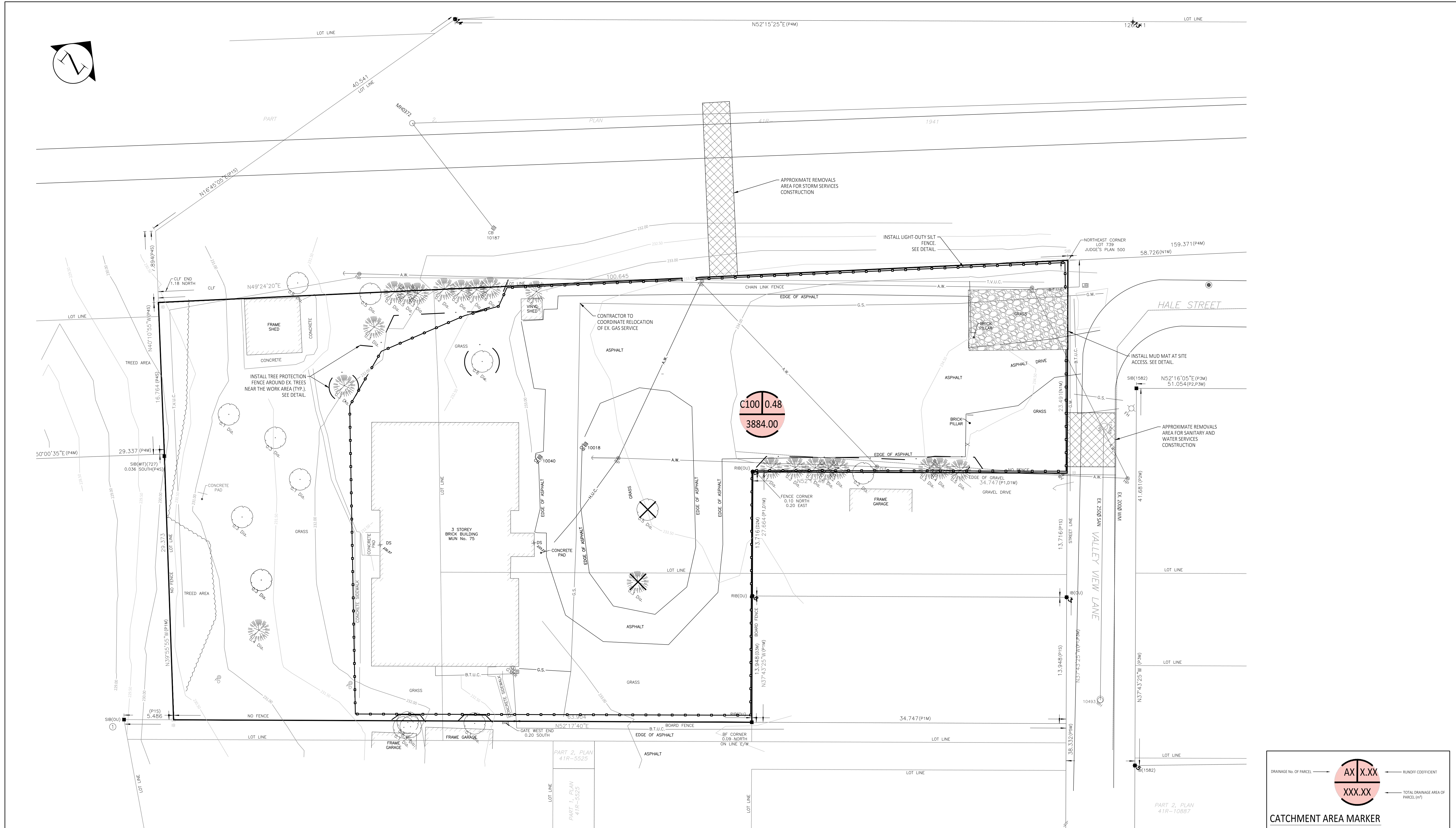
PROJECT No.	DESIGNED BY	SCALE
4687	L.R.	1:200

THE CONTRACTOR MUST CHECK ALL DIMENSIONS ON THE DRAWINGS AND VERIFY ALL DIMENSIONS ON THE PROJECT. DISCREPANCIES ARE TO BE PROCEEDING WITH ANY CONSTRUCTION WORK.  
DRAWINGS ARE NOT TO BE SCALED.



**CLAY HAIGHT - 75 HALE STREET**  
TILSONBURG, ON  
EX. CONDITIONS, REMOVALS AND SEC

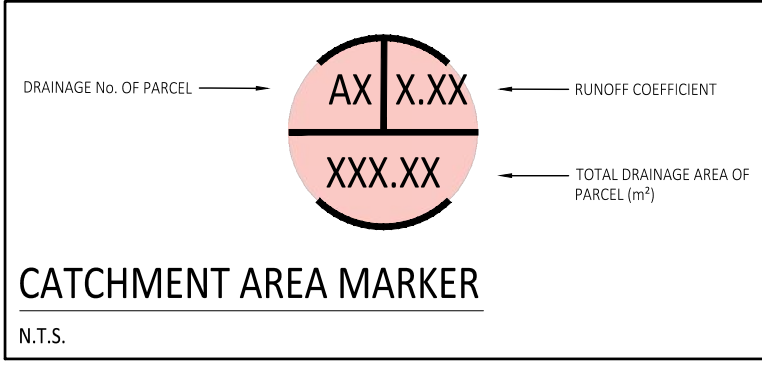
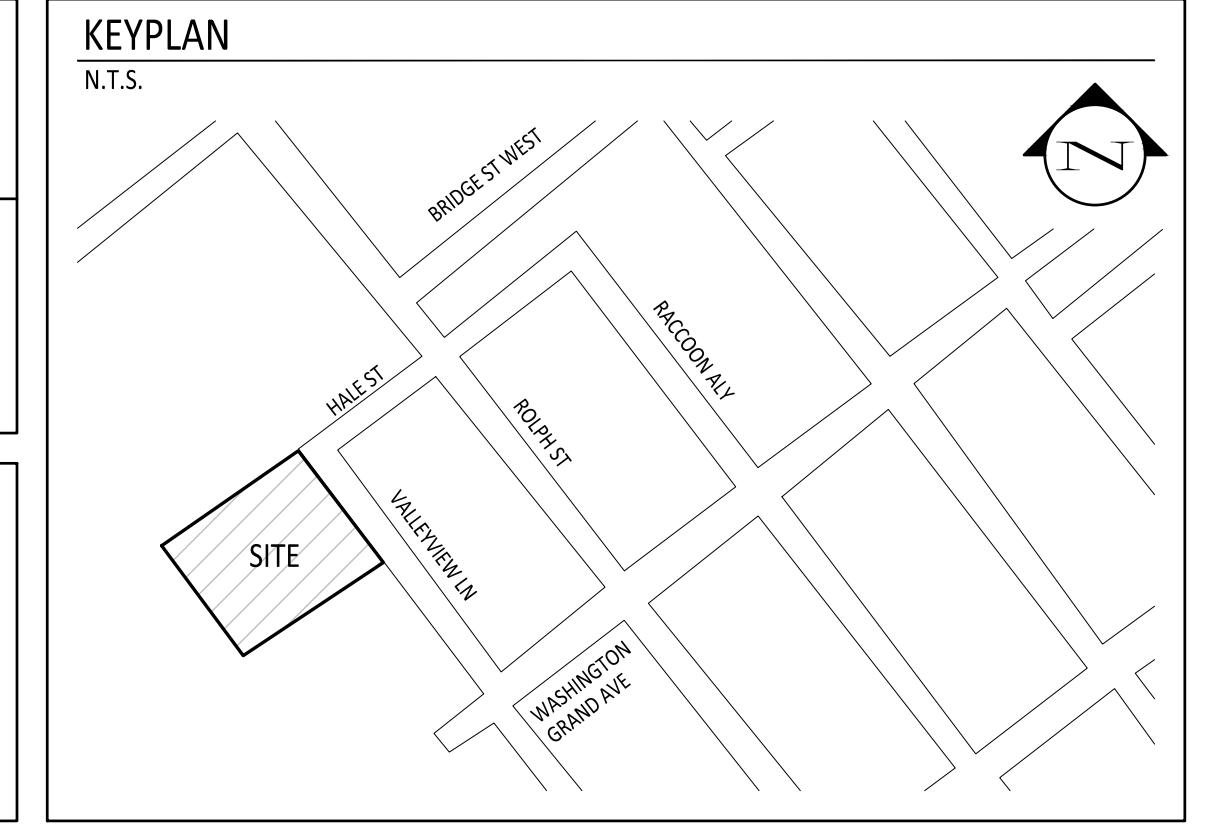
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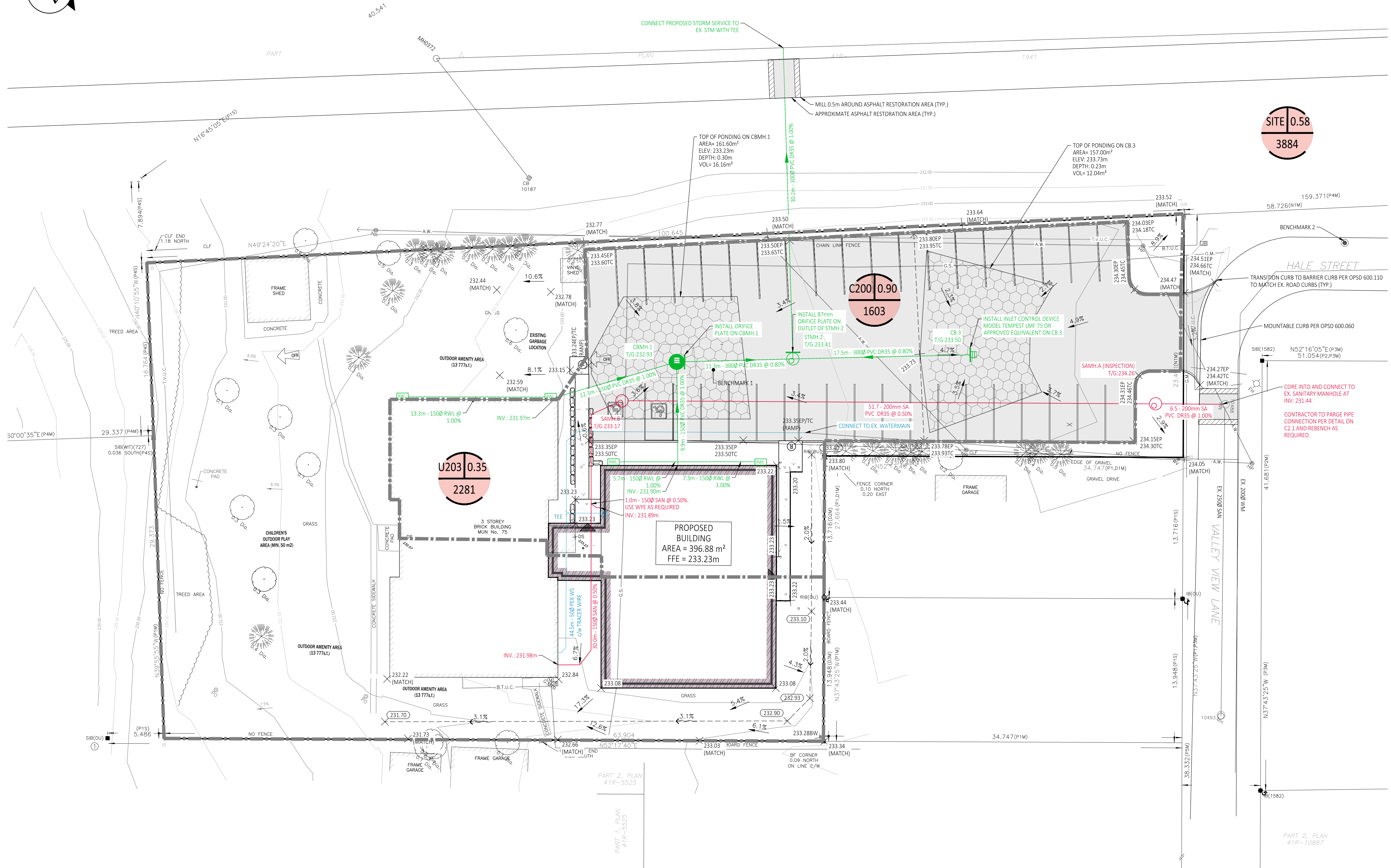
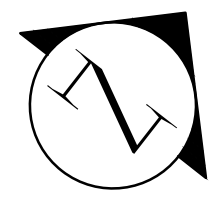


**BENCHMARK (SITE)**  
RIB ON NORTH SIDE OF HALE STREET, 15.4m EAST OF THE NORTHEAST CORNER OF THE 3 STOREY BRICK BUILDING, AS SHOWN ON THE FACE OF THIS PLAN.  
ELEVATION: 233.791m

**BENCHMARK (SITE)**  
RIB ON NORTH SIDE OF HALE STREET, 49.8m EAST OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY, AS SHOWN ON THE FACE OF THIS PLAN.  
ELEVATION: 233.417m

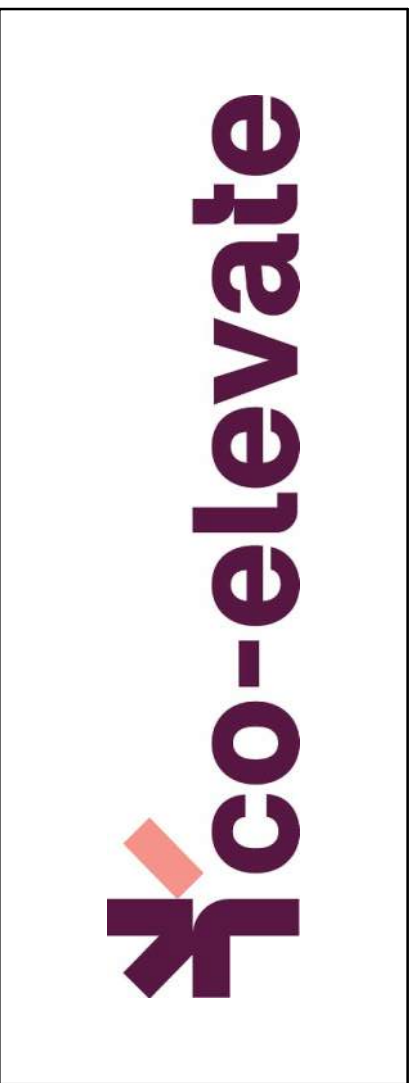
**LOT INFORMATION**  
PART OF  
LOT 738, 739 AND 744  
JUDGE'S PLAN 500  
IN THE  
TOWN OF TILSONBURG  
COUNTY OF OXFORD





SANITARY SEWER STRUCTURES		
STRUCTURES:	DETAILS:	INVERTS:
SAMH.A (INSPECTION)	1200 mm T/G = 234.26	NE INV = 231.50 SW INV = 231.55
SAMH.B	1200 mm T/G = 233.17	NE INV = 231.81 SW INV = 231.82

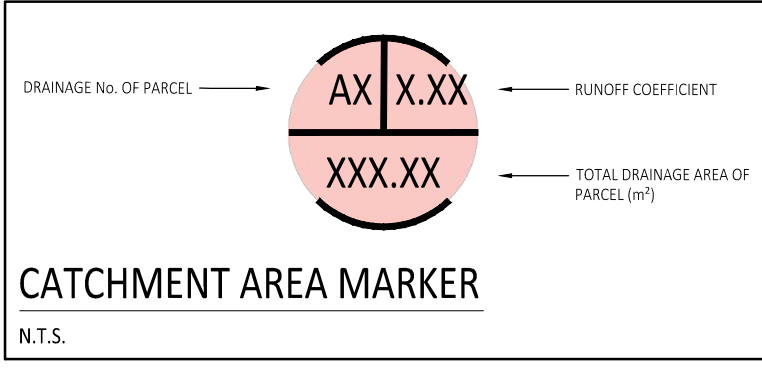
STORM SEWER STRUCTURES		
STRUCTURES:	DETAILS:	INVERTS:
CBMH.1	1200 mm T/G = 232.93	NE INV = 231.79 SE INV = 231.80 SW INV = 231.85
STMH.2	1200 mm T/G = 233.41	NW INV = 231.65 SW INV = 231.70 NE INV = 231.70
CB.3	1200 mm T/G = 233.50	SW INV = 231.84



REVISIONS	
No.	DESCRIPTION
01	ISSUED FOR REVIEW
02	
03	
04	
05	
06	
07	
08	
09	
10	

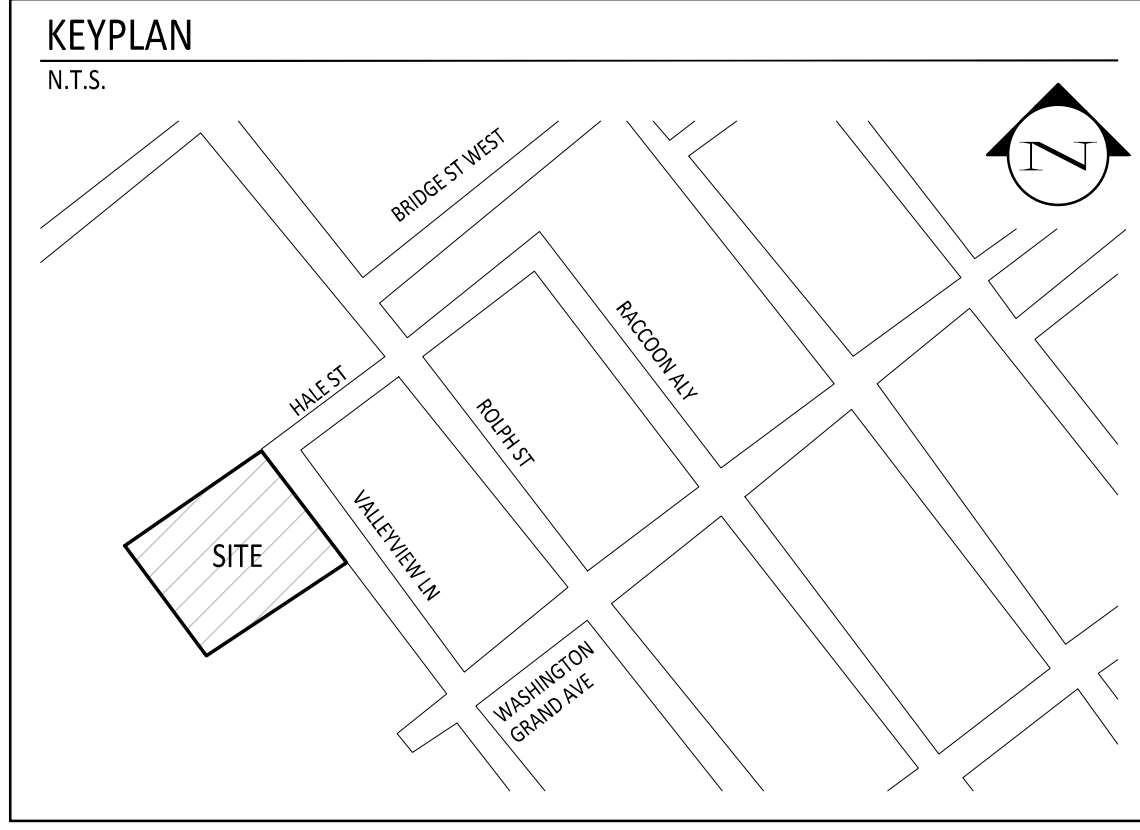
PROJECT No.	DESIGNED BY	DATE
4657	L.R.	2026-02-19

THE CONTRACTOR MUST CHECK ALL DIMENSIONS ON THE DRAWINGS AND VERIFY ALL DIMENSIONS ON THE PROJECT. DISCREPANCIES ARE TO BE PROCEEDING WITH ANY CONSTRUCTION WORK. DRAWINGS ARE NOT TO BE SCALED.



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RIB ON NORTH SIDE OF HALE STREET, 15.4m EAST OF THE NORTHEAST CORNER OF THE 3 STOREY BRICK BUILDING, AS SHOWN ON THE FACE OF THIS PLAN.  
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RIB ON NORTH SIDE OF HALE STREET, 49.8m EAST OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY, AS SHOWN ON THE FACE OF THIS PLAN.  
ELEVATION: 233.417m



**LOT INFORMATION**  
PART OF  
LOT 738, 739 AND 744  
JUDGE'S PLAN 500  
IN THE  
TOWN OF TILLSBURG  
COUNTY OF OXFORD

CLAY HAIGHT - 75 HALE STREET  
TILLSBURG, ON  
SITE GRADING AND SERVICING

**C2.1**

**GENERAL NOTES:**

- DO NOT SCALE THESE DRAWINGS. CHECK ALL DIMENSIONS BY SITE MEASUREMENT PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS WITH THE CIVIL DETAILS SHOWN. REPORT ANY INCONSISTENCIES PROMPTLY TO THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ANY EXISTING SERVICE PIPES OR CONDUITS TO REMAIN ACTIVE ON-SITE.
- THE CONTRACTOR IS TO COMPLY WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE AND THE ONTARIO CONSTRUCTION SAFETY ACT AND REGULATIONS.
- THE ENGINEER OF RECORD IS REQUIRED TO REVIEW THE INSTALLATION OF SERVICES AND GENERAL CONSTRUCTION TO SATISFY THE REQUIREMENTS OF THE COMMITMENT TO GENERAL REVIEW. THE OWNER AND/OR CONTRACTOR IS TO PROVIDE APPROPRIATE LEAD TIME TO COORDINATE THE REVIEW. CO-ELEVATE REQUIRES 48 HOURS NOTICE PRIOR TO THE REQUESTED INSPECTION.
- THE OWNER AND/OR CONTRACTOR SHALL HAVE ITS PROFESSIONAL ENGINEER PROVIDE FULL-TIME REVIEW DURING CONSTRUCTION ON PUBLIC RIGHT OF WAY.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE CURRENT ONTARIO BUILDING CODE (OBC), ONTARIO PROVINCIAL STANDARDS (OPSD/OPSS), MINISTRY OF THE ENVIRONMENT, CONSERVATION AND PARKS (MECP), AND ANY LOCAL GUIDELINES, APPLICABLE STATUTES, REGULATIONS, CODES AND BY-LAWS.
- ALL WORK PROPOSED, UNLESS OTHERWISE NOTED, IS TO CONFORM TO THE APPLICABLE OPSS/OPSD STANDARDS.
- OWNER'S CONTRACTOR IS CLEAR THE SITE PRIOR TO CONSTRUCTION AND DISPOSE OF ALL DEBRIS, GRUB, AND EXCESS FILL/TOPSOIL AT AN APPROVED FACILITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE SUPPLY, INSTALLATION AND REMOVAL OF ALL NECESSARY SIGNAGE, DELINEATORS, MARKERS AND BARRIERS. ALL SIGNS, ETC. SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS FOR THE TOWNSHIP AND THE MTO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR ONTARIO.
- CHANGES TO THE DRAWINGS ARE NOT PERMITTED UNTIL REVIEWED AND APPROVED BY THE ENGINEER AND ACCEPTED BY THE APPROVAL AUTHORITY.
- CO-ELEVATE IS NOT RESPONSIBLE FOR THE INFORMATION OR ACCURACY OF THE EXISTING TOPOGRAPHY, BENCHMARKS, PROPERTY BOUNDARY, ETC. PROVIDED BY OTHERS.
- THE CONTRACTOR IS REQUIRED TO OBTAIN & PAY FOR ALL PERMITS REQUIRED TO COMPLETE THE WORK INCLUDING WORK IN CITY R.O.W.

**SURFACE WORKS NOTES:**

- ALL WORK IN THE MUNICIPAL ROAD ALLOWANCE SHALL MEET THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE ENGINEERING SERVICES DEPARTMENT UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- ALL ORGANIC, UNSTABLE OR UNSUITABLE MATERIAL BENEATH THE ROAD ALLOWANCES MUST BE REMOVED AND THESE AREAS BACKFILLED WITH APPROVED FILL MATERIAL BY THE GEOTECHNICAL ENGINEER.
- THE OWNER'S CONTRACTOR IS TO MANAGE ALL EXCESS SOIL AS PER O. REG 406/19 ON-SITE AND EXCESS SOIL MANAGEMENT.
- ALL DRAINAGE FROM ADJUTING LANDS MUST NOT BE ADVERSELY AFFECTED DURING OR AFTER CONSTRUCTION.
- ALL SURFACES DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL STATE, OR AS PER BELOW, WHICHEVER IS GREATER, AT NO COST TO THE MUNICIPALITY.
- GRASSED AREAS TO BE RESTORED WITH 150mm TOPSOIL (OPSS/MUNI.802) AND SOD (OPSS/MUNI.803).
- CONCRETE SIDEWALK TO THE APPROPRIATE OPSS STANDARD (DIVISION 300).
- CONCRETE CURB AND/OR GUTTER TO THE APPROPRIATE OPSS STANDARD (DIVISION 600).
- MILL ADJACENT ASPHALT TO BE TIED INTO 50mm DEEP x 500mm WIDE PRIOR TO RESTORATION.
- ANY ASPHALT AREA DISTURBED DURING CONSTRUCTION SHALL BE RESTORED AS FOLLOWS (TO BE REVIEWED & APPROVED BY THE GEOTECHNICAL ENGINEER):
  - PROOF ROLL SUBGRADE PRIOR TO PLACEMENT OF GRANULARS (98% SPMD MIN.).
  - LIGHT-DUTY PAVEMENT STRUCTURE (OPSS 310 & OPSS 1150)
    - 40mm HL3 SURFACE ASPHALT COMPACTED TO 97% MARSHALL MIX DESIGN
    - 50mm HL8 BINDER ASPHALT COMPACTED TO 97% MARSHALL MIX DESIGN
    - 150mm OF GRANULAR 'A' COMPACTED TO 100% SPMD
    - 300mm OF GRANULAR 'B' COMPACTED TO 100% SPMD
  - HEAVY-DUTY/FIRE ROUTE PAVEMENT STRUCTURE (OPSS 310 & OPSS 1150)
    - 40mm HL3 SURFACE ASPHALT COMPACTED TO 97% MARSHALL MIX
    - 70mm HL8 BINDER ASPHALT COMPACTED TO 97% MARSHALL MIX
    - 150mm OF GRANULAR 'A' COMPACTED TO 100% SPMD
    - 450mm OF GRANULAR 'B' COMPACTED TO 100% SPMD
  - OTHER CONCRETE
    - MATCH EXISTING THICKNESS
    - 32 MPa MIN.
- RESTORE ALL PAVEMENT MARKINGS TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS (OPSS/MUNI 710)
- ALL EXISTING MANHOLE LIDS TO BE RAISED OR LOWER TO NEW APPLICABLE GRADES.

**EROSION AND SEDIMENT CONTROL:**

- PRIOR TO THE START OF ANY CONSTRUCTION THE CONTRACTOR IS TO INSTALL THE EROSION AND SEDIMENT CONTROLS IN ACCORDANCE WITH THE APPROVED PLAN AND INSPECTED BY THE ENGINEER.
- PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUNOFF DURING CONSTRUCTION.
- MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION. REGULAR MAINTENANCE, REPAIRS, AND REPLACEMENT IS REQUIRED BY THE CONTRACTOR ON ALL EROSION AND SEDIMENT CONTROLS TO ENSURE PROPER FUNCTIONING UNTIL DEVELOPMENT IS COMPLETE.
- ALL COLLECTED SEDIMENT TO BE DISPOSED OF AT AN APPROVED LOCATION.
- ALL DEWATERING TO BE DISPOSED OF IN AN APPROVED SEDIMENTATION BASIN.
- PROTECT ALL CATCH BASINS, CATCH BASIN MAINTENANCE HOLES AND PIPE ENDS FROM SEDIMENT WITH GEOTEXTILE FABRIC (TERRAFIX 270 R), SILT SACKS, OR APPROVED EQUIVA.
- PROTECT ALL CATCH BASINS, CATCH BASIN MAINTENANCE HOLES, AND PIPE ENDS WITHIN LANDSCAPE AREAS FROM SEDIMENT WITH STRAW BALE SEDIMENT FILTERS PER DETAIL ON THIS SHEET.
- KEEP ALL SUMPS CLEAN DURING CONSTRUCTION.
- PREVENT WIND-BLOWN DUST DURING CONSTRUCTION WITH AN ACCEPTABLE DUST SUPPRESSANT.
- STRAW BALES TO BE USED IN LOCALIZED AREAS AS DIRECTED BY THE ENGINEER.
- STRAW BALES TO BE TERMINATED BY ROUNDING BALES TO CONTAIN AND FILTER RUNOFF.
- OBTAIN APPROVAL FROM THE CONSERVATION AUTHORITY PRIOR TO CONSTRUCTION FOR WORKS WHICH ARE IN OR ADJACENT TO FLOOD LINES.
- ALL OF THE ABOVE NOTES AND ANY SEDIMENT & EROSION CONTROL MEASURES ARE AT THE MINIMUM TO BE IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.
- SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REPAIRED WITHOUT DELAY BY THE OWNERS CONTRACTOR AS INSTRUCTED BY THE CONTRACT ADMINISTRATOR/ENGINEER AT NO EXPENSE TO THE OWNER.
- MUD MATS TO BE PROVIDED ON-SITE AT CONSTRUCTION ENTRANCE LOCATIONS WHERE CONSTRUCTION VEHICLES EXIT THE SITE. MUD MAT SHALL BE A MINIMUM OF 6m WIDE, 11.0m LONG AND 0.3m DEEP AND SHALL CONSIST OF 200mm WASHED STONE MATERIAL OR APPROVED EQUIVALENT. CONTRACTOR TO ENSURE ALL VEHICLES LEAVE THE SITE VIA THE MUD MAT AND THAT IT IS MAINTAINED IN A MANNER TO MAXIMIZE ITS EFFECTIVENESS AT ALL TIMES.
- SEDIMENT AND EROSION CONTROL MEASURES TO BE REMOVED AT COMPLETION OF PROJECT AND DISPOSED OF AT AN APPROVED LOCATION.

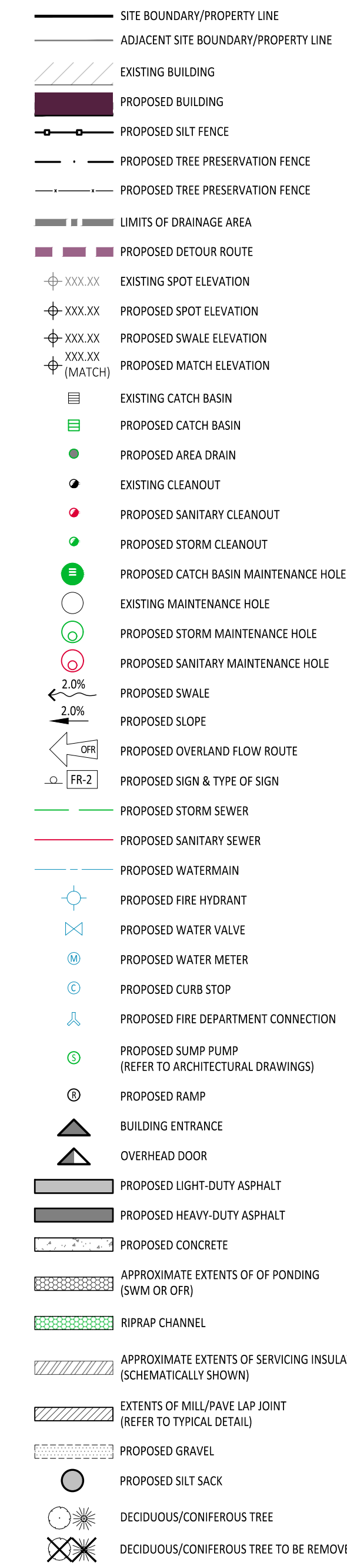
**SERVICING NOTES:**

- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- ALL STORM AND/OR SANITARY SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH THE LOCAL DESIGN STANDARDS AND SPECIFICATIONS, THE CURRENT EDITION OF THE ONTARIO BUILDING CODE, AND THE CURRENT EDITION OF THE MINISTRY OF THE ENVIRONMENT, CONSERVATION AND PARKS (M.E.C.P.) DESIGN GUIDELINES.
- ALL SITE SERVICES SHALL BE INSTALLED TO 1.5m OUTSIDE FOUNDATION WALL.
- ALL ORGANIC, UNSTABLE OR UNSUITABLE MATERIALS BENEATH SERVICES, UTILITIES, OR FOUNDATIONS MUST BE REMOVED AND THESE AREAS BACKFILLED WITH AN APPROVED FILL MATERIAL, ALL TO THE SATISFACTION OF A GEOTECHNICAL ENGINEER.
- REMOVE ALL TRENCH WATER WHEN INSTALLING PIPE. ALL REQUIREMENTS FOR DEWATERING REGISTRY AND PERMITS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONNECTIONS FROM FOUNDATION, WEPPING TILE, SUMP PUMP, AND ROOF DRAINS ARE NOT PERMITTED TO ENTER THE SANITARY SEWER SYSTEM.
- ALL PROPOSED STORM SEWER PIPE SHALL BE:
  - PVC SMOOTH WALL (CSA B182.2) (1000 TO 6000)
  - RIBBED (CSA B182.4) (2000 TO 6000)
  - HDPE (CSA B182.8) (2000 TO 6000)
  - NON-REINFORCED CONCRETE (CAN/CSA 257.1) (1000 TO 6000)
  - REINFORCED CONCRETE (CAN/CSA 257.2)
- ALL PROPOSED SANITARY SEWER PIPE SHALL BE:
  - PVC SMOOTH WALL (CSA B182.2) (1000 TO 6000)
  - RIBBED (CSA B182.4) (2000 TO 6000)
  - NON-REINFORCED CONCRETE (CAN/CSA 257.1) (1000 TO 6000)
  - REINFORCED CONCRETE (CAN/CSA 257.2)
- ALL PROPOSED WATERMAIN PIPE SHALL BE:
  - PEX (CSA B137.5) (200 TO 500)
  - PVC SMOOTH WALL (CSA B137.3) (1000 TO 3000)
- ALL WATERMANS/SERVICES, VALVES AND FIRE HYDRANTS TO HAVE 12AWG TRACER WIRE INSTALLED.
- TRENCH BACKFILL FOR RIGID AND FLEXIBLE PIPE TO BE IN ACCORDANCE WITH OPSS/MUNI.401 AND LOCAL MUNICIPAL STANDARDS. TRENCH BACKFILL TO BE PLACED IN MAXIMUM LIFTS OF 300mm AND BE COMPACTED TO 95% SPMD MINIMUM.
- THE MINIMUM DEPTH OF A STORM SEWER SHALL BE 1.22m ON PRIVATE LAND OR 1.5m IN THE CITY ROW FROM THE FINISHED GROUND ELEVATION TO THE CROWN OF THE PIPE AS PER OPSS 3090.101. WHERE MINIMUM DEPTHS CANNOT BE ACHIEVED, PROST PROTECTION IS NEEDED BY MEANS OF INSULATION (OPSS 1109.030).
- ALL STORM AND SANITARY SEWERS/SERVICES AND CATCHBASIN LEADS SHALL HAVE APPROVED RUBBER GASKET JOINTS AND BE INSTALLED USING A LASER LEVEL.
- SUMP PUMP AND DRAIN LOCATIONS ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. REFER TO THE ARCHITECTURAL PLANS FOR ACTUAL LOCATION.
- ALL CATCHBASINS TO HAVE 0.6m SUMP AS PER OPSS 705.010 AND CATCHBASIN MAINTENANCE HOLES 1200Ø & LARGER TO HAVE 0.3m SUMP AS PER OPSS 701.010.
- 150mm DIAMETER PERFORATED HDPE PIPE WITH FILTER SOCK AND END CAPS WHERE REQUIRED, ARE TO BE INSTALLED AS SUBDRAINS CONNECTED TO TWO SIDES OF EACH STORM STRUCTURE WITHIN PAVED AREAS. THE SUBDRAINS ARE TO BE LOCATED JUST BELOW SUBGRADE ELEVATION.
- ALL MAINTENANCE HOLES TO BE INSTALLED IN ACCORDANCE WITH THE ONTARIO PROVINCIAL STANDARDS (OPSD) DIVISION 700 DETAILS AND REQUIREMENTS. ALL STRUCTURES TO BE DESIGNED TO RESIST BUOYANCY IF REQUIRED.
- SANITARY MAINTENANCE HOLE STRUCTURES TO BE INTERNALLY BENGED PER OPSS 701.021.
- SANITARY MAINTENANCE HOLE STRUCTURES TO BE PER OPSS 401.010 - TYPE A. WATERTIGHT IN SURFACE PONDING AREAS.
- CONTRACTOR IS RESPONSIBLE FOR TESTING OF SANITARY SEWERS IN ACCORDANCE WITH OPSS 410 AND LOCAL MUNICIPAL STANDARDS.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL PRECAST CONCRETE STRUCTURES.
- MINIMUM OF 1 AND MAXIMUM OF 3 ADJUSTMENT RISER UNITS FOR ALL STRUCTURES. MAXIMUM ADJUSTMENT HEIGHT: 300mm.
- LADDER RUNGS IN MAINTENANCE HOLES TO BE AS PER OPSS 404/405/406. LADDER RUNG SPACING IN MAINTENANCE HOLES TO BE 300mm MIN. AND A MAX. OF 600mm DISTANCE BETWEEN THE LID AND THE FIRST RUNG.
- WHERE ANY WATER SERVICE CONNECTION IS REQUIRED TO BE MADE FOLLOWING THE CONSTRUCTION OF CURB, GUTTER, CONCRETE SIDEWALKS, AND/OR WEARING SURFACE COAT OF ASPHALT ON ANY STREET IN A NEW SUBDIVISION, SUCH WATER SERVICE CONNECTION SHALL NOT BE MADE USING 'OPEN CUT' METHODS BUT SHALL BE MADE USING TRENCHLESS TECHNOLOGIES AND IN SUCH A MANNER AS TO ELIMINATE THE POSSIBILITY OF SETTLEMENT OF SUCH CURB, GUTTER, CONCRETE SIDEWALKS AND/OR WEARING SURFACE COAT OF ASPHALT; IT BEING UNDERSTOOD THAT THIS POLICY SHALL APPLY, EXCEPT WHERE IN THE OPINION OF THE CITY ENGINEER, GROUND CONDITIONS ARE SUCH THAT THE USE OF DRILLING OR BORING METHODS BECOME UNREASONABLE OR UNECONOMICAL.
- ALL WATERMAIN MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CURRENT LOCAL STANDARDS AND SPECIFICATIONS.
- ALL FIRE HYDRANTS SHALL BE 3-WAY HYDRANTS WITH STORZ CONNECTION OPENING CLOCKWISE.
- ALL WATERMAIN VALVES SHALL BE GATE VALVES MANUFACTURED TO AWWA C500 AND EPOXY COATED TO AWWA C550. ALL VALVES TO OPEN CLOCKWISE.
- INSTALLATION, HYDROSTATIC TESTING, SWABBING, FLUSHING AND DISINFECTING SHALL BE DONE IN ACCORDANCE WITH LOCAL STANDARDS AND SPECIFICATIONS.
- ALL WATERMANS/SERVICES SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 0.5m AND HORIZONTAL SEPARATION OF 2.5m BETWEEN ANY SEWER OR MANHOLE. WATERMANS/SERVICES SHALL CROSS ABOVE SEWERS TO ALLOW FOR PROPER BEDDING AND STRUCTURAL SUPPORT OF THE WATERMAIN/SERVICE AND SEWER MAINS.
- WATERMAIN TO BE INSTALLED WITH 1.7m-1.9m COVER. PROVIDE PIPE RESTRAINTS AS REQUIRED BY THE PIPE MANUFACTURER.
- ALL WATERMAIN RESTRAINTS SHALL CONFORM TO THE CURRENT LOCAL STANDARDS AND SPECIFICATIONS.

**LIST OF STANDARD DETAILS:**

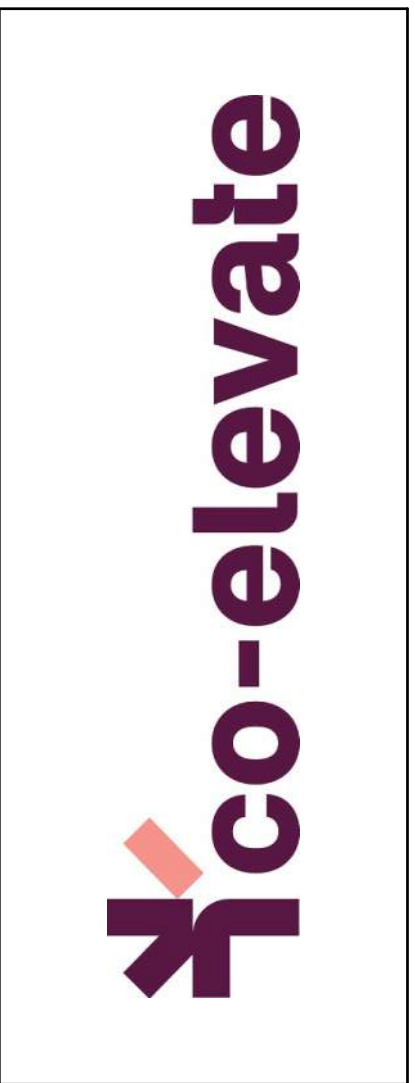
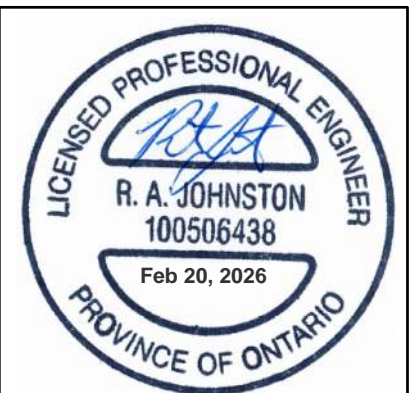
- ONTARIO PROVINCIAL STANDARDS**  
 OPSD 219.110 - LIGHT-DUTY SILT FENCE BARRIER  
 OPSD 220.010 - BARRIER FOR TREE PROTECTION  
 OPSD 350.010 - URBAN, INDUSTRIAL, COMMERCIAL AND APARTMENT ENTRANCES  
 OPSD 400.020 - CAST IRON, SQUARE FRAME WITH SQUARE FLAT GRATE FOR CATCH BASINS, HERRING BONE OPENINGS  
 OPSD 401.030 - CAST IRON, SQUARE FRAME WITH CIRCULAR WATERTIGHT COVER FOR MAINTENANCE HOLES  
 OPSD 405.010 - MAINTENANCE HOLE STEPS, HOLLOW  
 OPSD 600.110 - CONCRETE BARRIER CURB  
 OPSD 608.010 - METHOD OF TERMINATION FOR CONCRETE CURB & GUTTER  
 OPSD 701.010 - PRECAST CONCRETE MAINTENANCE HOLE, 1200mm DIAMETER  
 OPSD 701.012 - PRECAST CONCRETE MAINTENANCE HOLE, 1800mm DIAMETER  
 OPSD 701.021 - MAINTENANCE HOLE BENCHING AND PIPE OPENING ALTERNATIVES  
 OPSD 705.010 - PRECAST CONCRETE CATCH BASIN, 600mm X 600mm

**LEGEND:**



**ABBREVIATIONS:**

TC	TOP OF CURB
EP	EDGE OF PAVEMENT
TW	ELEVATION AT TOP OF RETAINING WALL
BW	ELEVATION AT BOTTOM OF RETAINING WALL
HP	HIGH POINT
LP	LOW POINT
TG	TOP OF GRATE



No.	DATE	BY	REVISIONS	
			DESCRIPTION	DATE
01	2026-02-19	LR	ISSUED FOR REVIEW	

PROJECT No.	DRAWN BY	DESIGNED BY	REVISIONS	
			DATE	BY
4587	LR	LR		

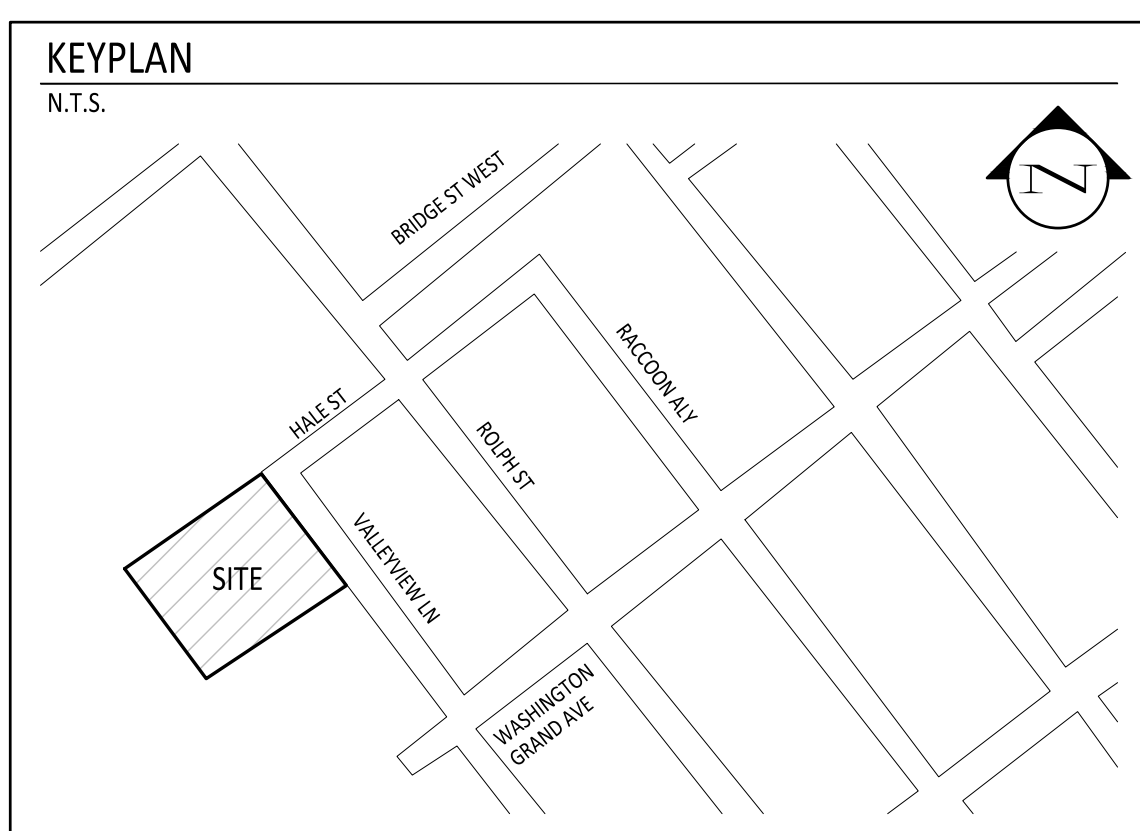
THE CONTRACTOR MUST CHECK ALL DRAWINGS AND VERIFY ALL DIMENSIONS ON THE PROJECT. DISCREPANCIES ARE TO BE PROCEEDING WITH ANY CONSTRUCTION WORK.

DRAWINGS ARE NOT TO BE SCALED.

**BENCHMARK (SITE) -**  
 RIB ON NORTH SIDE OF HALE STREET, 15.4m EAST OF THE NORTHEAST CORNER OF THE 3 STOREY BRICK BUILDING, AS SHOWN ON THE FACE OF THIS PLAN.  
 ELEVATION: 233.791m

**BENCHMARK (SITE) -**  
 RIB ON NORTH SIDE OF HALE STREET, 49.8m EAST OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY, AS SHOWN ON THE FACE OF THIS PLAN.  
 ELEVATION: 233.417m

**LOT INFORMATION**  
 PART OF  
**LOT 738, 739 AND 744**  
**JUDGE'S PLAN 500**  
 IN THE  
**TOWN OF TILLSBURG**  
 COUNTY OF OXFORD



**CLAY HAIGHT - 75 HALE STREET**  
 TILLSBURG, ON  
 75 HALE STREET

**GENERAL NOTES**

**C3.1**

**7<sup>H</sup> ALE** | **RETIREMENT RESIDENCES**  
**5<sup>E</sup>**

# DESIGN BRIEF

## 01 PROJECT INTRODUCTION

The scope of this project involves adding 16 units in four storeys to the existing 12 unit apartment building, with a connecting breezeway. The new building features an elevator, and the new breezeway adds a lobby with controlled entry to the new and existing units.

## 02 OBJECTIVES

To create a building which is aesthetically pleasing, fully accessible, and captures the immaculate views around the site, while respecting the natural heritage on the west side of the property.

## 03 DESIGN

GROSS BUILDING AREA: 16,172 SQ. FT. (1502.43 m<sup>2</sup>)  
 STYLE: MODERN APARTMENT  
 LEVELS: 4 STOREYS ABOVE GRADE

## 04 INTERIOR

### MAIN FLOOR (4,208 SQ. FT.)

- 3 - 2 BEDROOM UNITS
- 1 - 1 BEDROOM UNIT
- PUBLIC CORRIDOR
- UTILITY / METER ROOM
- VESTIBULE
- LOBBY

### FLOORS 2 - 4 (3,988 SQ. FT.)

- 4 - 2 BEDROOM UNITS
- PUBLIC CORRIDOR

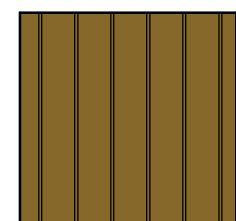
### TYPICAL UNIT

- ACCESSIBLE BATHROOM WITH LAUNDRY IN UNIT
- KITCHEN / DINING ROOM
- LIVING ROOM
- UTILITY CLOSET
- ONE WHEELCHAIR ACCESSIBLE BEDROOM WITH REACH IN CLOSET
- SECOND BEDROOM (WHERE APPLICABLE)

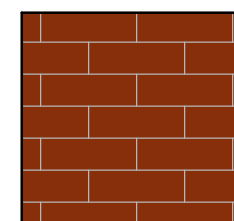
## 04 CEILING HEIGHTS

MAIN FLOOR: 9'-0"  
 SECOND FLOOR: 9'-0"  
 THIRD FLOOR: 9'-0"  
 FOURTH FLOOR: 9'-0"

# MATERIALS



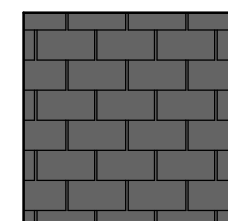
ALUMINUM SIDING WITH BATTENS • WOOD FINISH



BRICK VENEER



SMOOTH HARDIE PANEL WITH REVEALS • CHARCOAL GREY FINISH



ASPHALT SHINGLES

# TABLE OF CONTENTS

INTRODUCTION	
D0	COVER PAGE
D1	INTRODUCTION
DESIGN	
D2.0	FRONT CORNER RENDERING
D2.1	PROPOSED SITE PLAN
D2.2	RENDERED FLOOR PLANS
D4	MAIN FLOOR PLAN
D5	TYPICAL LEVEL 2 - 4 FLOOR PLANS
D6	ELEVATIONS
D7	ELEVATIONS
D8	AREA PLANS
D2.3	3D BUILDING SECTION
D9	OBC MATRIX

# REVISIONS

NO.	DESCRIPTION	DATE
00	ISSUED FOR PRELIM REVIEW	2025-09-26
01	ISSUED FOR PRELIM REVIEW	2025-10-28
02	ISSUED FOR ZONING APPROVAL	2025-10-29
03	ISSUED FOR SPA COORDINATION	2025-12-16
04	REISSUED FOR SPA COORDINATION	2026-01-16



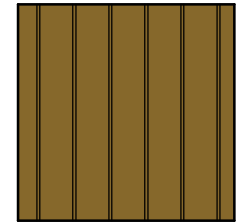
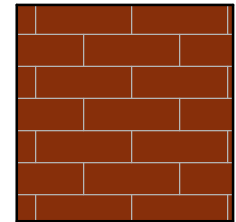

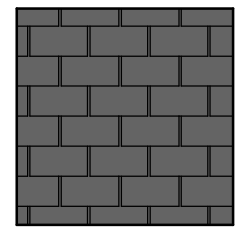
A sloped sidewalk leads to the main entry located in the breezeway connecting the new and existing building.



This secondary entrance for residents is fully covered, providing easy access to the central corridor.

# PRELIMINARY DESIGN

## MATERIALS

-  ALUMINUM SIDING WITH BATTENS • WOOD FINISH
-  BRICK VENEER
-  SMOOTH HARDIE PANEL WITH REVEALS • CHARCOAL GREY FINISH
-  ASPHALT SHINGLES



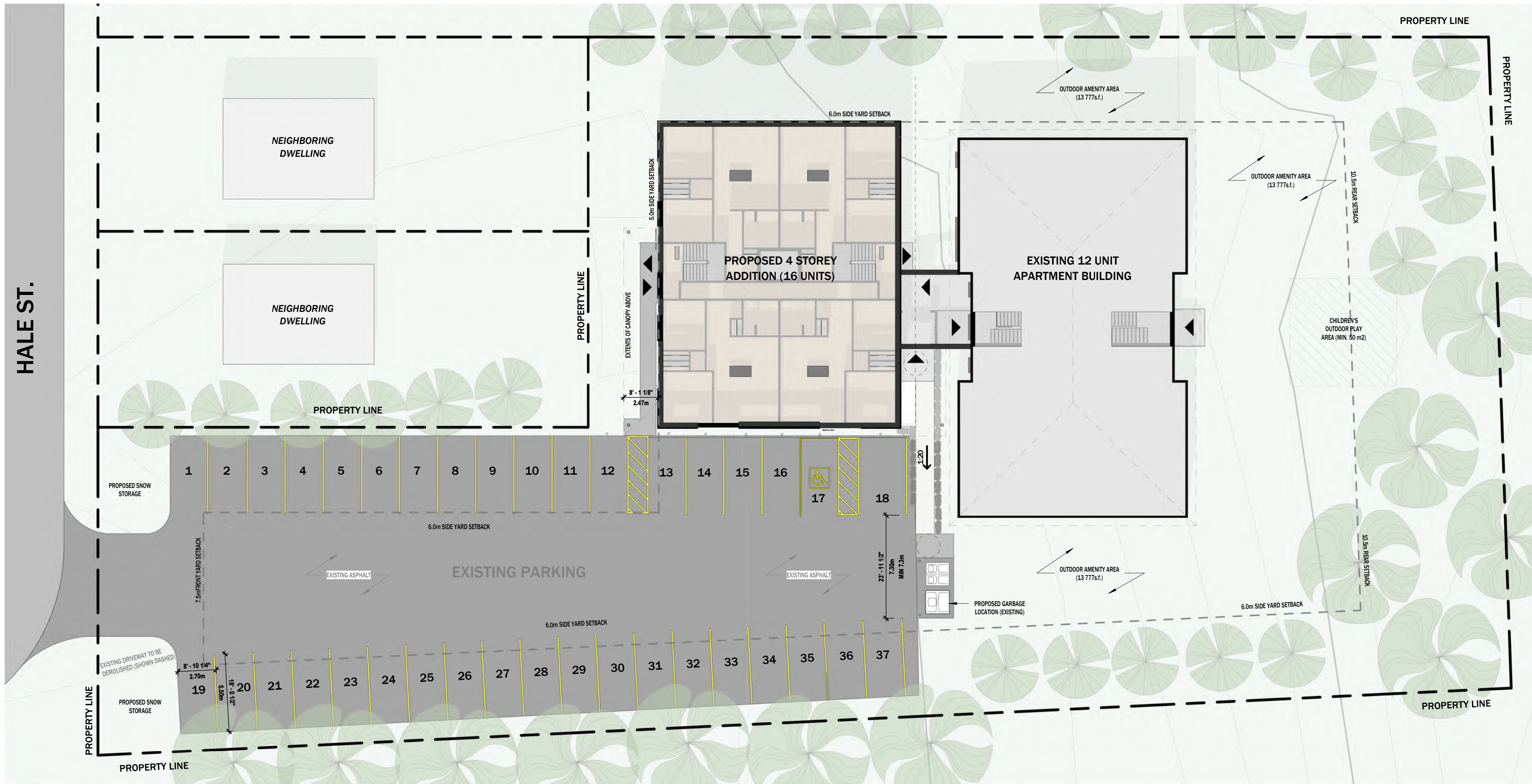
# PRELIMINARY DESIGN

### COMMENTS

- THE PROPOSED IS A 4 STOREY ADDITION, CONSISTING OF (4) - 2 BEDROOM UNITS PER FLOOR, 2 STAIRCASES, & 1 ELEVATOR.
- THE PROPOSED 16 UNIT ADDITION, ALONG WITH THE EXISTING 12 UNITS, WOULD CREATE 28 TOTAL UNITS, WHEREAS THE MAXIMUM ALLOWABLE UNITS ARE 28.
- THE EXISTING PARKING LOT WILL NEED TO BE LENGTHENED TOWARDS HALE ST, ALONG WITH THE REMOVAL OF THE EXISTING ROUND-ABOUT IN FRONT OF THE EXISTING BUILDING. THIS WOULD ALLOW FOR 37 PARKING SPACES.

### ASSUMPTIONS & LIMITATIONS

- THE PROPOSED SITE IS TAKEN FROM OXFORD COUNTY (GLIMR) MAPPING.



SITE INFORMATION			
TOWNSHIP OF TILLSBURG ZONING BY LAW NO. 3295			
ITEM	REQ'D & PERMITTED	EXISTING	PROPOSED
ZONE	EC-R	EC-R(H)	EC-R
USE		APARTMENT DWELLING	APARTMENT DWELLING
LOT AREA (MIN)	1883.7 SF (175.00 m <sup>2</sup> )	41570.00 SF (3861.98 m <sup>2</sup> )	41570.00 SF (3861.98 m <sup>2</sup> )
PER UNIT			
LOT FRONTAGE (MIN)	65' - 7" (20.0)	76' - 3" (23.2)	76' - 3" (23.2)
LOT DEPTH (MIN)		329' - 1" (100.3)	329' - 1" (100.3)
LOT COVERAGE	40.0% 16628.00 SF (1544.79 m <sup>2</sup> )	11.0% 4580.00 SF (425.50 m <sup>2</sup> )	20.6% 8566.00 SF (795.81 m <sup>2</sup> )
AMMENITY AREA (MIN)	0.00 SF 0.00 m <sup>2</sup>	33% 13777.00 SF 1279.93 m <sup>2</sup>	33% 13777.00 SF 1279.93 m <sup>2</sup>
LANSAPED OPEN SPACE (MIN)	30.0% 12471.00 SF (1156.59 m <sup>2</sup> )	93.8% 38991.43 SF (3622.42 m <sup>2</sup> )	84.9% 35291 SF (3276.64 m <sup>2</sup> )
HEIGHT (MAX)		11.0 m	10.5 m 14.5 m
<b>SETBACKS</b>			
C.I. ROAD (MIN)	20.5m	65.6m	45.4m
FRONT YARD (MIN)	ESTABLISHED BUILDING LINE	60.9m	40.7m
INT. SIDE YARD (MIN)	6.0m	7.1m & 13.1m	5
REAR YARD (MIN)	12.5m	21.6m	21.6m
EXT. SIDE YARD (MIN)	N/A	N/A	N/A
<b>DENSITY</b>			
UNITS	22	12	28
<b>PARKING (max.)</b>			
SPACES	1.25 Per Unit	35	37
COVERAGE (max.)	N/A	N/A	N/A
NOTES:			



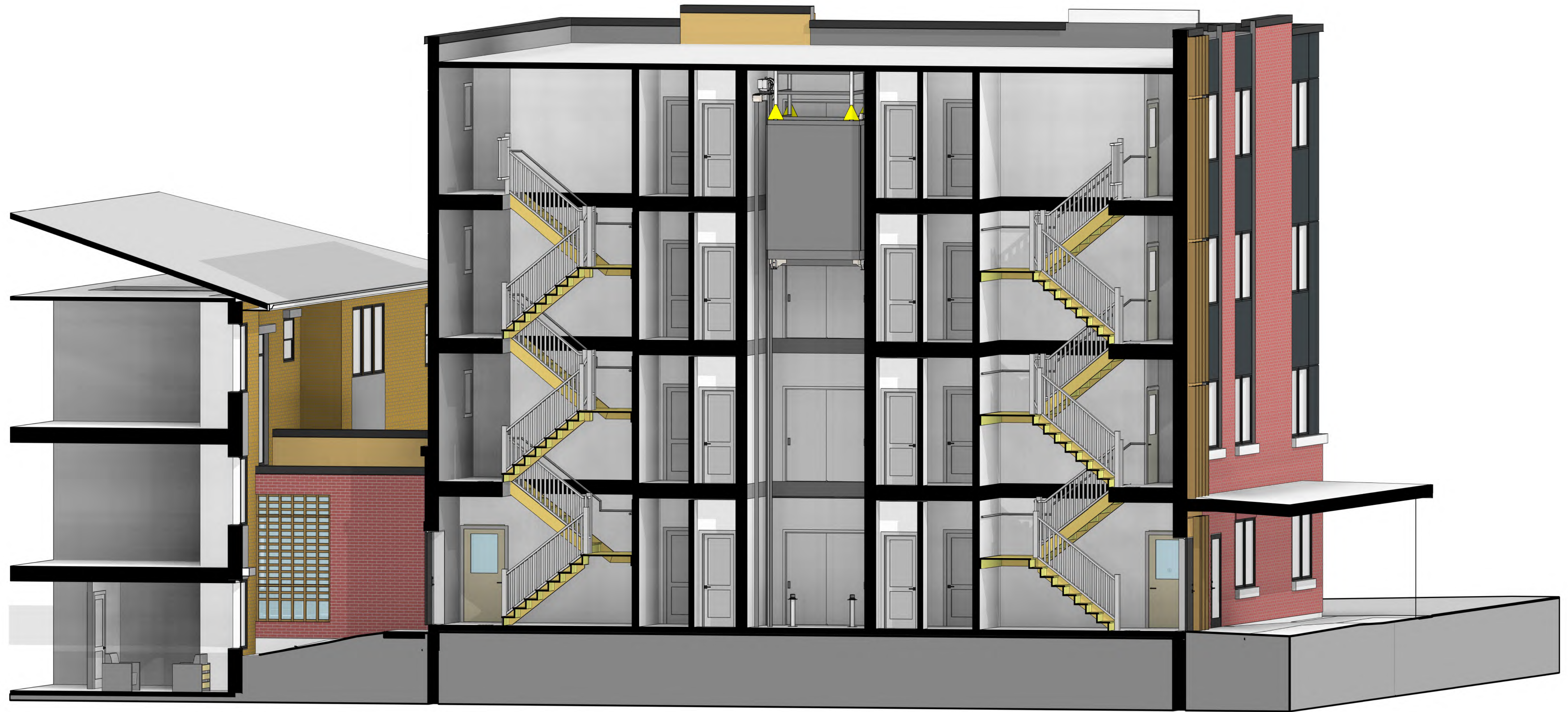
# PRELIMINARY DESIGN



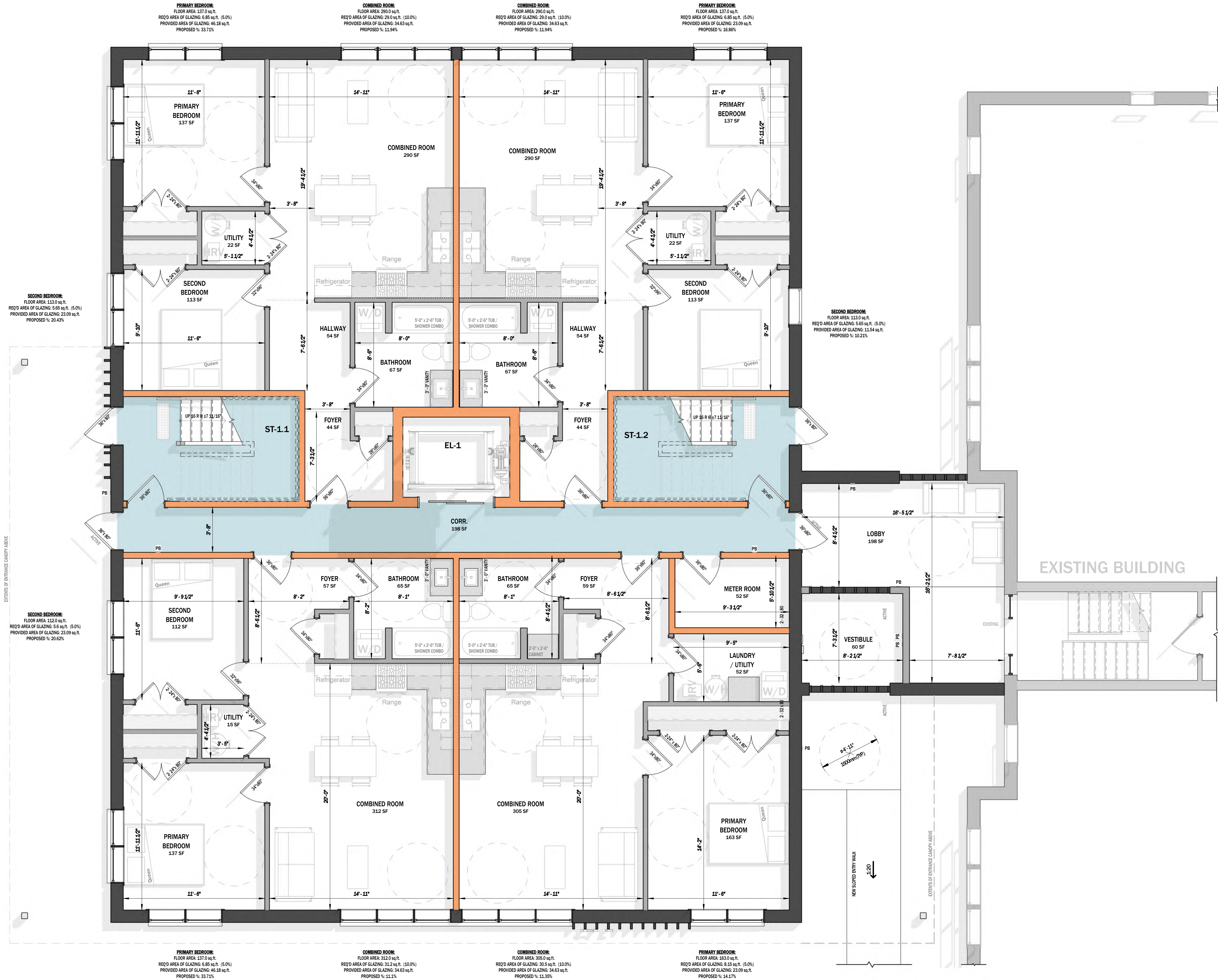
RENDERED GROUND FLOOR PLAN



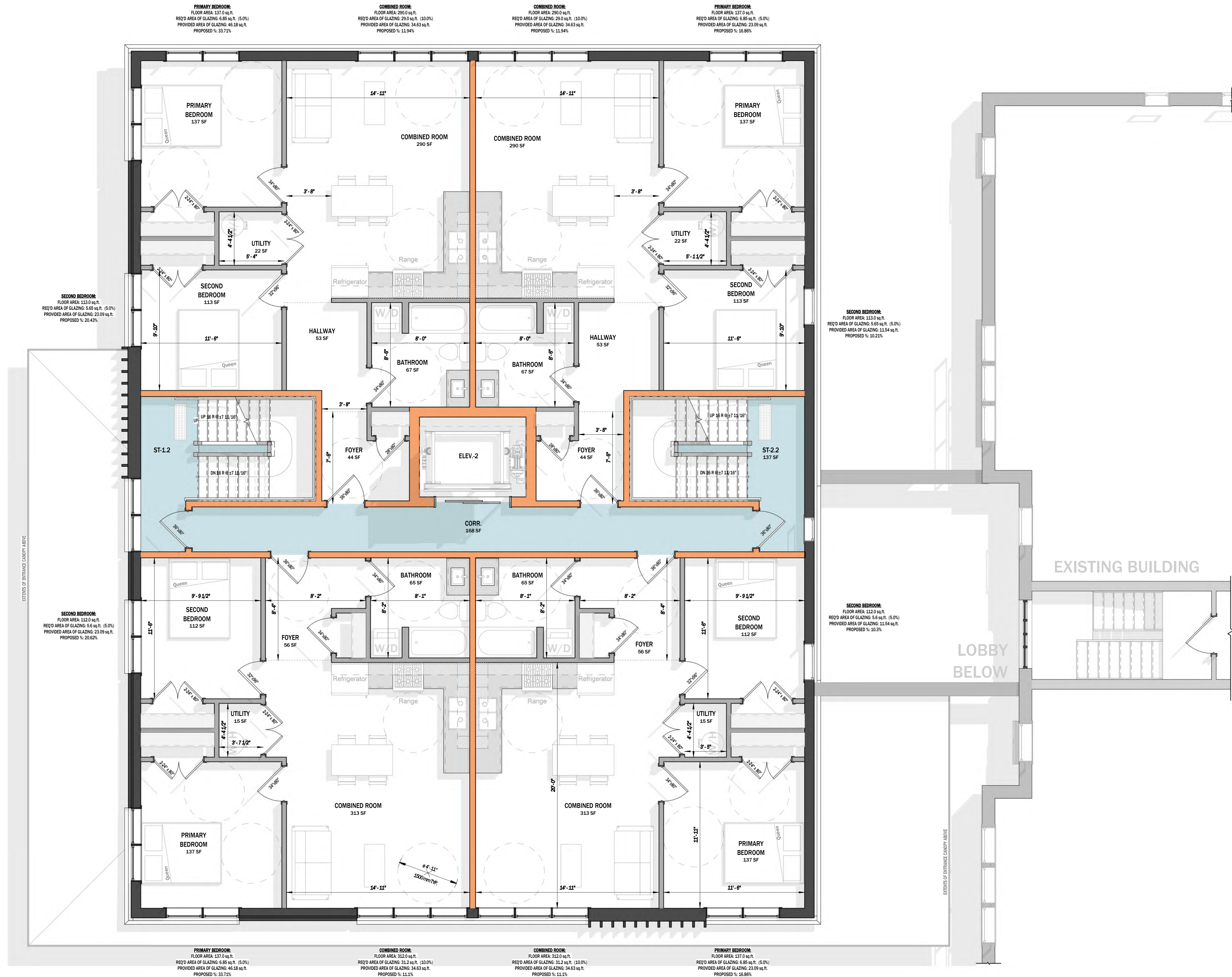
RENDERED LEVEL 2-4 FLOOR PLAN



# PRELIMINARY DESIGN



# PRELIMINARY DESIGN



# PRELIMINARY DESIGN



**FRONT ELEVATION**  
1/8" = 1'-0"

*U.P.O. = UNPROTECTED OPENINGS*		NON-COMBUSTIBLE CLADDING: NO	
SPATIAL SEPARATION : PER UNIT FIRE COMPARTMENT			
LIMITING DISTANCE:	21.07 m (69' - 2")	WALL AREA:	23.69 m <sup>2</sup> (255.00 ft <sup>2</sup> )
MAX U.P.O. AREA:	23.69 m <sup>2</sup> (255.00 ft <sup>2</sup> )	PROPOSED U.P.O. AREA:	7.26 m <sup>2</sup> (78.16 ft <sup>2</sup> )
MAX U.P.O. PERCENTAGE:	100%	U.P.O. PERCENTAGE:	31%

*U.P.O. = UNPROTECTED OPENINGS*		NON-COMBUSTIBLE CLADDING: NO	
SPATIAL SEPARATION : LOBBY			
LIMITING DISTANCE:	2.91 m (9' - 7")	WALL AREA:	13.89 m <sup>2</sup> (149.54 ft <sup>2</sup> )
MAX U.P.O. AREA:	12.95 m <sup>2</sup> (139.37 ft <sup>2</sup> )	PROPOSED U.P.O. AREA:	5.58 m <sup>2</sup> (60.09 ft <sup>2</sup> )
MAX U.P.O. PERCENTAGE:	93%	U.P.O. PERCENTAGE:	40%



**LEFT ELEVATION**  
1/8" = 1'-0"

*U.P.O. = UNPROTECTED OPENINGS*		NON-COMBUSTIBLE CLADDING: NO	
SPATIAL SEPARATION : PER UNIT FIRE COMPARTMENT			
LIMITING DISTANCE:	5.00 m (16' - 5")	WALL AREA:	23.02 m <sup>2</sup> (247.77 ft <sup>2</sup> )
MAX U.P.O. AREA:	15.19 m <sup>2</sup> (163.53 ft <sup>2</sup> )	PROPOSED U.P.O. AREA:	5.92 m <sup>2</sup> (63.72 ft <sup>2</sup> )
MAX U.P.O. PERCENTAGE:	66%	U.P.O. PERCENTAGE:	26%

*U.P.O. = UNPROTECTED OPENINGS*		NON-COMBUSTIBLE CLADDING: NO	
SPATIAL SEPARATION : STAIRS			
LIMITING DISTANCE:	5.00 m (16' - 5")	WALL AREA:	42.94 m <sup>2</sup> (462.18 ft <sup>2</sup> )
MAX U.P.O. AREA:	19.32 m <sup>2</sup> (207.98 ft <sup>2</sup> )	PROPOSED U.P.O. AREA:	8.88 m <sup>2</sup> (95.58 ft <sup>2</sup> )
MAX U.P.O. PERCENTAGE:	45%	U.P.O. PERCENTAGE:	21%

*U.P.O. = UNPROTECTED OPENINGS*		NON-COMBUSTIBLE CLADDING: NO	
SPATIAL SEPARATION : ENTRANCE CORRIDOR			
LIMITING DISTANCE:	5.00 m (16' - 5")	WALL AREA:	5.26 m <sup>2</sup> (56.99 ft <sup>2</sup> )
MAX U.P.O. AREA:	5.26 m <sup>2</sup> (56.99 ft <sup>2</sup> )	PROPOSED U.P.O. AREA:	2.08 m <sup>2</sup> (22.42 ft <sup>2</sup> )
MAX U.P.O. PERCENTAGE:	100%	U.P.O. PERCENTAGE:	40%

# PRELIMINARY DESIGN



**REAR ELEVATION**  
1/8" = 1'-0"

*U.P.O. = UNPROTECTED OPENINGS*		NON-COMBUSTIBLE CLADDING: NO		*U.P.O. = UNPROTECTED OPENINGS*		NON-COMBUSTIBLE CLADDING: NO	
<b>SPATIAL SEPARATION : PER UNIT FIRE COMPARTMENT</b>				<b>SPATIAL SEPARATION : LOBBY</b>			
LIMITING DISTANCE:	6.01 m (19' - 9")	WALL AREA:	23.69 m <sup>2</sup> (255.00 ft <sup>2</sup> )	LIMITING DISTANCE:	4.14 m (13' - 7")	WALL AREA:	11.36 m <sup>2</sup> (122.30 ft <sup>2</sup> )
MAX U.P.O. AREA:	23.22 m <sup>2</sup> (249.90 ft <sup>2</sup> )	PROPOSED U.P.O. AREA:	7.26 m <sup>2</sup> (78.16 ft <sup>2</sup> )	MAX U.P.O. AREA:	10.91 m <sup>2</sup> (117.41 ft <sup>2</sup> )	PROPOSED U.P.O. AREA:	4.65 m <sup>2</sup> (50.00 ft <sup>2</sup> )
MAX U.P.O. PERCENTAGE:	98%	U.P.O. PERCENTAGE:	31%	MAX U.P.O. PERCENTAGE:	96%	U.P.O. PERCENTAGE:	41%



**RIGHT ELEVATION**  
1/8" = 1'-0"

*U.P.O. = UNPROTECTED OPENINGS*		NON-COMBUSTIBLE CLADDING: NO		*U.P.O. = UNPROTECTED OPENINGS*		NON-COMBUSTIBLE CLADDING: NO	
<b>SPATIAL SEPARATION : PER UNIT FIRE COMPARTMENT</b>				<b>SPATIAL SEPARATION : STAIRS</b>			
LIMITING DISTANCE:	1.20 m (3' - 11")	WALL AREA:	25.24 m <sup>2</sup> (271.72 ft <sup>2</sup> )	LIMITING DISTANCE:	1.20 m (3' - 11")	WALL AREA:	42.89 m <sup>2</sup> (461.71 ft <sup>2</sup> )
MAX U.P.O. AREA:	1.77 m <sup>2</sup> (19.02 ft <sup>2</sup> )	PROPOSED U.P.O. AREA:	1.49 m <sup>2</sup> (16.02 ft <sup>2</sup> )	MAX U.P.O. AREA:	3.00 m <sup>2</sup> (32.32 ft <sup>2</sup> )	PROPOSED U.P.O. AREA:	1.85 m <sup>2</sup> (19.92 ft <sup>2</sup> )
MAX U.P.O. PERCENTAGE:	7%	U.P.O. PERCENTAGE:	6%	MAX U.P.O. PERCENTAGE:	7%	U.P.O. PERCENTAGE:	4%

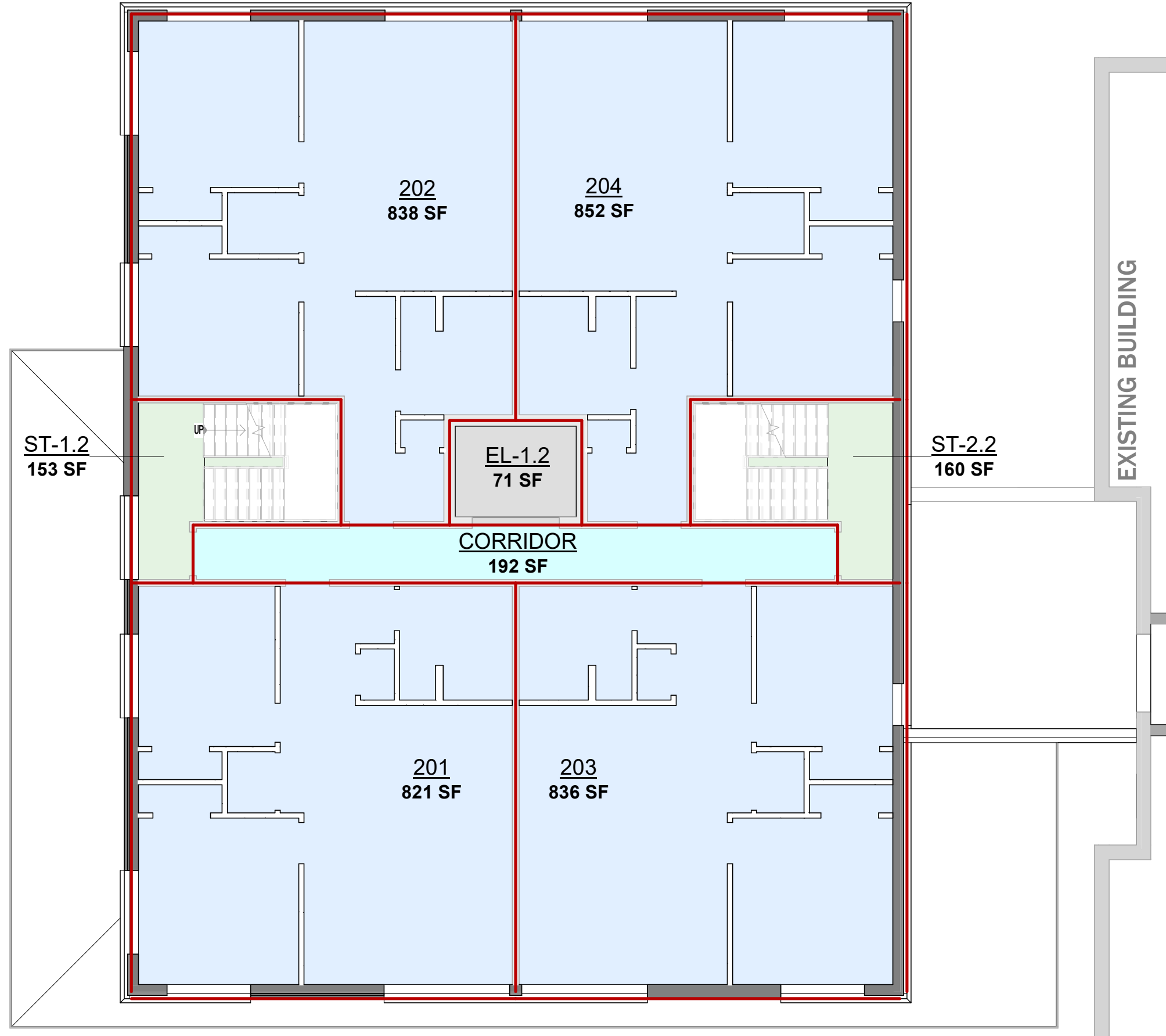


**EXISTING BLDG - FRONT ELEVATION**  
1/8" = 1'-0"

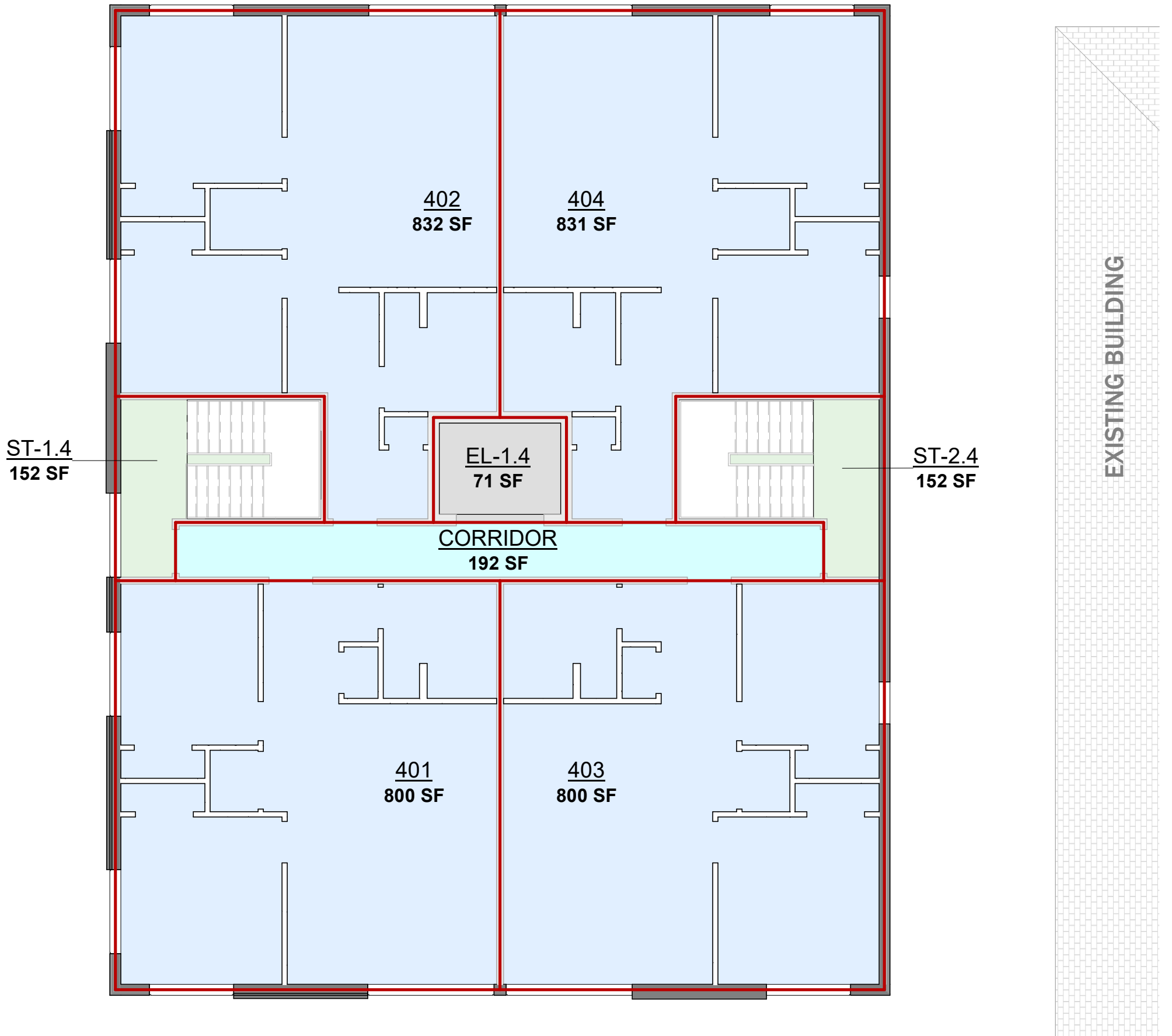
*U.P.O. = UNPROTECTED OPENINGS*		NON-COMBUSTIBLE CLADDING: NO		*U.P.O. = UNPROTECTED OPENINGS*		NON-COMBUSTIBLE CLADDING: NO	
<b>SPATIAL SEPARATION : PER EXISTING UNIT FIRE COMPARTMENT</b>				<b>SPATIAL SEPARATION : EXISTING STAIRS</b>			
LIMITING DISTANCE:	2.90 m (9' - 6")	WALL AREA:	33.96 m <sup>2</sup> (365.56 ft <sup>2</sup> )	LIMITING DISTANCE:	2.90 m (9' - 6")	WALL AREA:	9.48 m <sup>2</sup> (102.01 ft <sup>2</sup> )
MAX U.P.O. AREA:	7.81 m <sup>2</sup> (84.08 ft <sup>2</sup> )	EXISTING U.P.O. AREA:	7.37 m <sup>2</sup> (79.28 ft <sup>2</sup> )	MAX U.P.O. AREA:	4.36 m <sup>2</sup> (46.92 ft <sup>2</sup> )	PROPOSED U.P.O. AREA:	4.92 m <sup>2</sup> (52.96 ft <sup>2</sup> )
MAX U.P.O. PERCENTAGE:	23%	U.P.O. PERCENTAGE:	22%	MAX U.P.O. PERCENTAGE:	46%	U.P.O. PERCENTAGE:	52%

NOTE: CALCULATIONS COMPLETED BASED ON EXISTING OPENINGS

# PRELIMINARY DESIGN



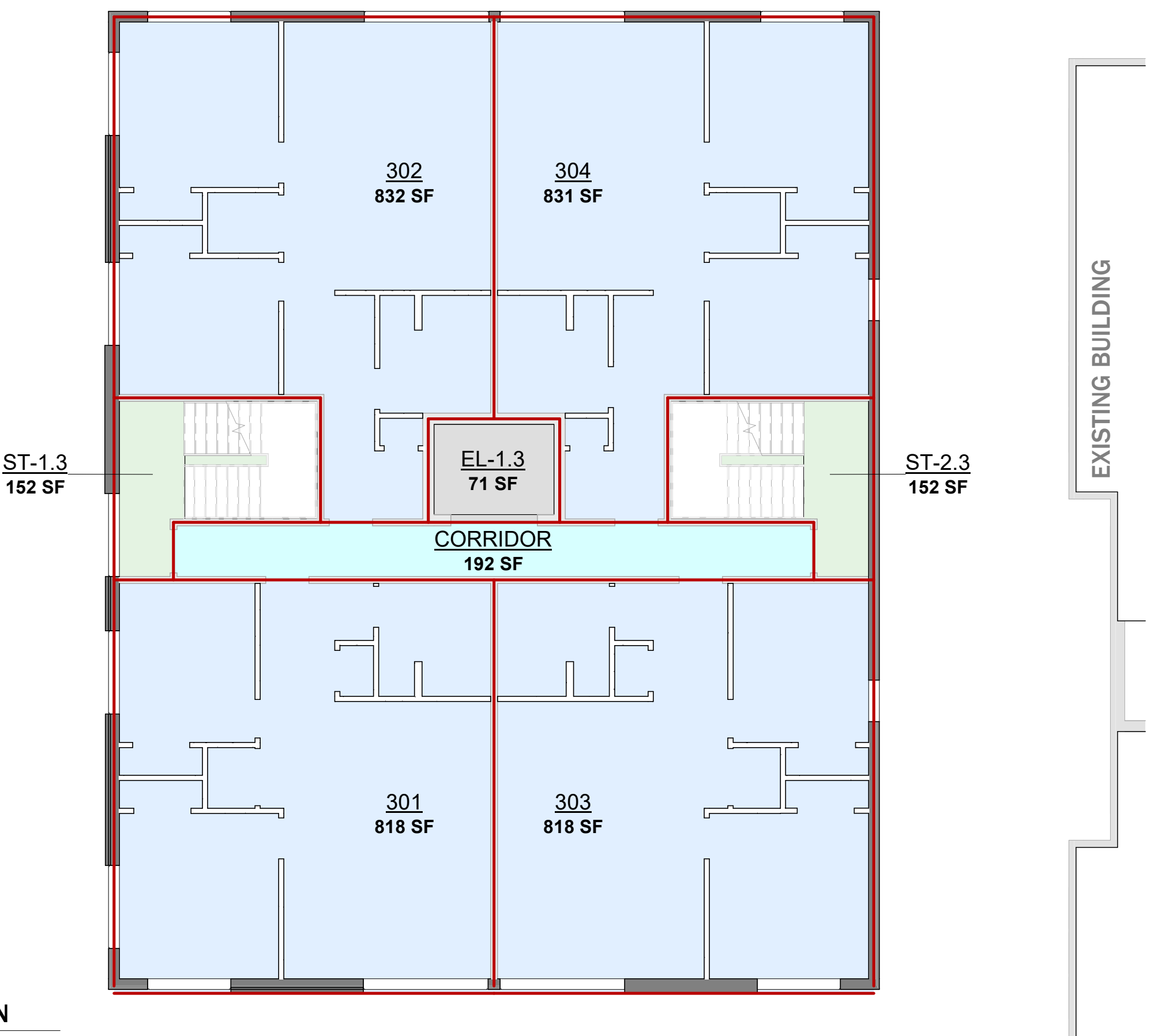
SECOND FLOOR - AREA PLAN  
1/8" = 1'-0"



FOURTH FLOOR - AREA PLAN  
1/8" = 1'-0"



MAIN FLOOR - AREA PLAN  
1/8" = 1'-0"



THIRD FLOOR - AREA PLAN  
1/8" = 1'-0"



ZN 7-26-04

FILE NO: \_\_\_\_\_

DATE RECEIVED: February 26, 2026

**Revised: March 11, 2026**

## TOWN OF TILLSONBURG APPLICATION FOR ZONE CHANGE

**1. Registered Owner(s):**

Name: Community Living Tillsonburg (Cheryl Conick, CEO) Phone: \_\_\_\_\_ Residence: \_\_\_\_\_  
Address: 96 Tillson Ave, Tillsonburg, ON Business: (519) 842-9008 Ext 257  
Fax: (519) 842-7628  
Postal Code: N4G 3A1 E-mail: ceo@communitylivingtillsonburg.ca

**Applicant (if other than registered owner):**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_ Residence: \_\_\_\_\_  
Address: \_\_\_\_\_ Business: \_\_\_\_\_  
Fax: \_\_\_\_\_  
Postal Code: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Solicitor or Agent (if any):**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_ Business: \_\_\_\_\_  
Address: \_\_\_\_\_ Fax: \_\_\_\_\_  
Postal Code: \_\_\_\_\_ E-mail: \_\_\_\_\_

All communications will be sent to those listed above. **If you do not wish correspondence** to be sent to the

Owner,  Applicant, or  Solicitor/Agent, please specify by checking the appropriate box.

Name and address of any holders of any mortgage, charges or other encumbrances (if known):  
\_\_\_\_\_

**2. Subject Land(s):**

**a) Location:**

Municipality County of Oxford former municipality \_\_\_\_\_  
Concession No. \_\_\_\_\_ Lot(s) \_\_\_\_\_  
Registered Plan No. 500 Lot(s) \_\_\_\_\_  
Reference Plan No. 41-R-4492 Part(s) Lot 1139  
The proposed lot is located on the South side of Brock Street, East Street, lying between  
Harvey Street and Tillson Ave. Street.  
Street and/or Civic Address (911#): 51 Brock Street, East

**b) Official Plan Designation:**

Existing: ~~Commercial~~ Central Business District  
Proposed: ~~Lower Residential - Upper Commercial~~ Central Business District

If the proposed designation is different than the existing designation, has an application for Official Plan Amendment been filed with the County of Oxford?  No  Yes

- c) **Zoning:** Present: Central Commercial  
 Proposed: Special Central Commercial
- d) **Uses:** Present: Offices/Commercial  
 Proposed: (Include description) Lower Residential, Upper Commercial

**3. Buildings/Structures:**

For all buildings/structures, either **existing or proposed** on the subject lands, please supply the following information:

<u>Existing/Proposed</u>	<input type="checkbox"/> None Existing Building 1	<input type="checkbox"/> None Proposed Building 2
Use:	<u>Offices</u>	_____
Date Constructed (if known):	<u>Approx 1968</u>	_____
Floor Area:	<u>3000 Gross</u>	_____
Setbacks:		
Front lot line	<u>Sidewalk</u>	_____
Side lot lines	<u>West 3' East 15'</u>	_____
Rear lot line	<u>50'</u>	_____

Please complete for residential, commercial/industrial or institutional uses.

	RESIDENTIAL	COMMERCIAL/ INDUSTRIAL	INSTITUTIONAL
<b>TYPE</b> Apt., semi, townhouse, retail, restaurant, church, etc.			
<b># OF UNITS</b>			<b>N/A</b>
<b>CONVERSION/ADDITION TO EXISTING BUILDING</b>	1	1	
Describe	Lower Level	Upper Level	
<b>TOTAL # OF UNITS/BEDS</b>	<b>N/A</b>	<b>N/A</b>	
<b>FLOOR AREA</b> by dwelling unit or by type (office, retail common rooms, etc.)	1500 sq ft	1500 sq ft	
<b>OTHER FACILITIES</b> (playground, underground parking, pool, etc.)			
<b># OF LOTS</b> (for subdivision)			<b>N/A</b>
<b>SEATING CAPACITY</b> (for restaurant, assembly hall, etc.)	<b>N/A</b>		
<b># OF STAFF</b>	<b>N/A</b>		
<b>OPEN STORAGE REQUIRED?</b>	<b>N/A</b>		<b>N/A</b>
<b>ACCESSORY RESIDENTIAL USE?</b>	<b>N/A</b>	If accessory residential use, complete residential section	If accessory residential use, complete residential section

**4. Site Information (proposed use(s)):**

Lot Frontage	<u>Approx 45' 6"</u>	Exterior Side Yard (corner lot)	_____
Lot Depth	<u>Approx 133' 6"</u>	Landscaped Open Space (%)	_____
Lot Area	_____	No. of Parking Spaces	<u>56</u>
Lot Coverage	_____	No. of Loading Spaces	<u>0</u>
Front Yard	<u>Sidewalk</u>	Building Height	_____
Rear Yard	_____	Width of Planting Strip	<u>14' x 45' rear of lot</u>
Interior Side Yard	_____	Driveway Width	<u>15'</u>

**5. Services:** (check appropriate box)

		Existing	Proposed
<b>Water supply</b>	Publicly owned and operated piped water system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual well	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify) _____	<input type="checkbox"/>	<input type="checkbox"/>
<b>Sewage Disposal</b>	Publicly owned and operated sanitary sewer system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual septic tank	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify) _____	<input type="checkbox"/>	<input type="checkbox"/>
<b>Storm Drainage</b>	Municipal Sewers <input checked="" type="checkbox"/>	Ditches <input type="checkbox"/>	
	Municipal Drains <input type="checkbox"/>	Swales <input type="checkbox"/>	

**6. Access:**

Provincial Highway	<input type="checkbox"/>	Unopened Road Allowance	<input type="checkbox"/>
County Road	<input type="checkbox"/>	Right-of-Way owned by _____	<input type="checkbox"/>
Municipal Road maintained all year	<input checked="" type="checkbox"/>	Other (specify) _____	<input type="checkbox"/>
Municipal Road seasonally maintained	<input type="checkbox"/>		

**7. General Information:**

a) Is the Subject Land the subject of regulations for flooding or fill and construction permits of the Long Point Region Conservation Authority? x No      Yes

If yes, has an Application been filed with the Conservation Authority? x No      Yes

b) Present land use(s) of adjacent properties:  
Commercial/Residential

c) Characteristics of subject land (check appropriate space(s) and add explanation, if necessary)

(i) Does the land contain environmental features such as wetlands, woodlots, watercourses, etc.?  
 No       Yes If yes, describe \_\_\_\_\_

---

(ii) Has any part of the land been formally used for any purpose other than agricultural purposes?  
 No       Yes

If yes, describe former use:  
 \_\_\_\_\_  
 \_\_\_\_\_

**8. Historical Information:**

a) Is the subject land the subject of a current Application for Consent to the Oxford County Land Division Committee or a current application for draft plan of subdivision to the County of Oxford?  
 No       Yes → Application No. \_\_\_\_\_

b) Have the subject land(s) ever been the subject of any other application under the Planning Act, such as an application for approval of an Official Plan amendment, a zoning by-law amendment, a Minister's Zoning Order amendment, consent, a minor variance, or approval of a plan of subdivision?  
 No       Unknown  
 Yes → File No. \_\_\_\_\_ Status/Decision \_\_\_\_\_

c) If known, the date the subject land was acquired by the owner? February 1, 1995

d) If known, the length of time that the existing uses of the subject land have continued? ongoing

**Authorization of Owner(s) for Applicant/Agent to Make the Application**

I/We, Community Living Tillsonburg, am/are the owner(s) of the land that is the subject of this application for zone change and I/We authorize Cheryl Conick, to make this application on my/our behalf.

Date Feb. 26, 2026 Signature of Owner(s)  Signature of Owner(s) \_\_\_\_\_

**THIS SECTION TO BE COMPLETED IN THE PRESENCE OF A COMMISSIONER FOR TAKING AFFIDAVITS**

I/We Cheryl Conick of the County of Haldimand in the Province of Ontario,

**DO SOLEMNLY DECLARE THAT:**

All of the prescribed information contained in this application is true and that the information contained in the documents that may accompany this application is true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

DECLARED before me at the TOWN of Tillsonburg in the County of Oxford this 26<sup>th</sup> day of February 2026

  
Owner(s)/Applicant  
Cheryl Conick  
Owner(s)/Applicant

  
A Commissioner for Taking Affidavits

**TRISHA RENEE VOTH**  
a Commissioner, etc.,  
Province of Ontario,  
for The Corporation of the  
Town of Tillsonburg.  
Exp. March 26, 2027.

**Notes:**

- Applications will not be considered complete until all requested information has been supplied.
- It is required that **one original** of this application (including the sketch/site plan) be filed, accompanied by the applicable fee of ~~\$4,943.00~~ in cash, debit, or cheque, payable to the **Treasurer, Town of Tillsonburg**. A fee of ~~\$3,735.00~~ will be charged if an application is required 'after the fact' (after the use has occupied the site).

**Municipal Freedom of Information and Protection of Privacy Act – Notice of Collection & Disclosure**

The collection of personal information on this form is legally authorized under Sec.34 of the *Planning Act* and O.Reg.545/06 for the purpose of processing your planning application. Questions about this collection should be directed to the Director of Community Planning at the County of Oxford, 21 Reeve St., P.O. Box 1614, Woodstock, ON N4S 7Y3 or at 519-539-9800 (ext.3207).

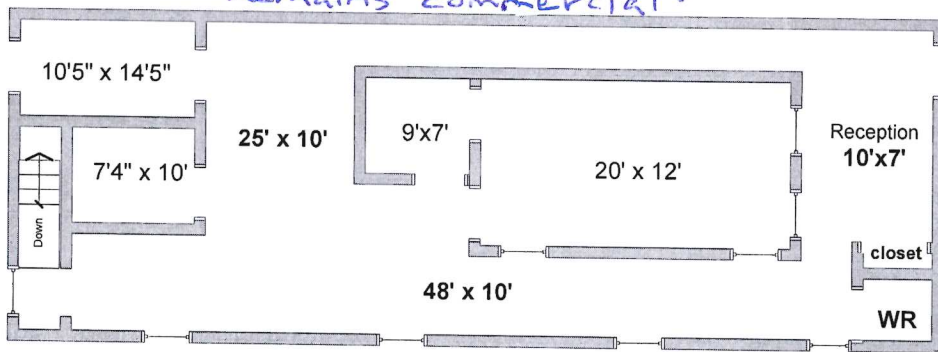
Pursuant to Sec.1.0.1 of the *Planning Act*, and in accordance with Sec.32(e) of the *Municipal Freedom of Information and Protection of Privacy Act*, it is the policy of the County of Oxford to make all planning applications and supporting material available to the public.

51 Brock St.



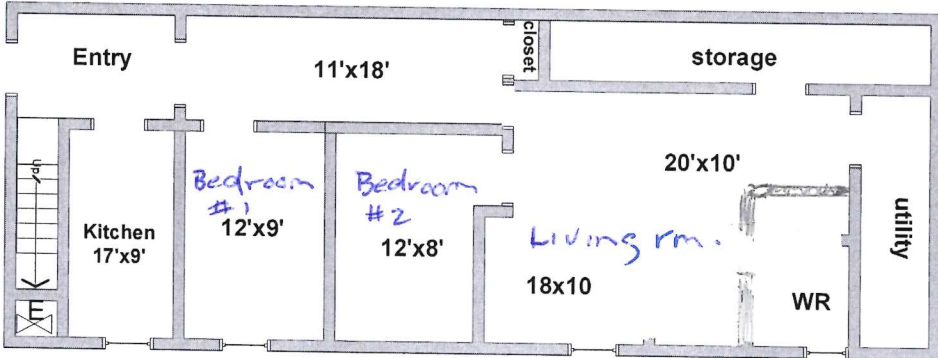
Main Floor

*Remains commercial.*



Back Parking

Basement



Brock St. East

# 51 BROCK ST E TILLSONBURG



51 Brock St E

Imagery flown March 7th May...



Lower apartment entrance.

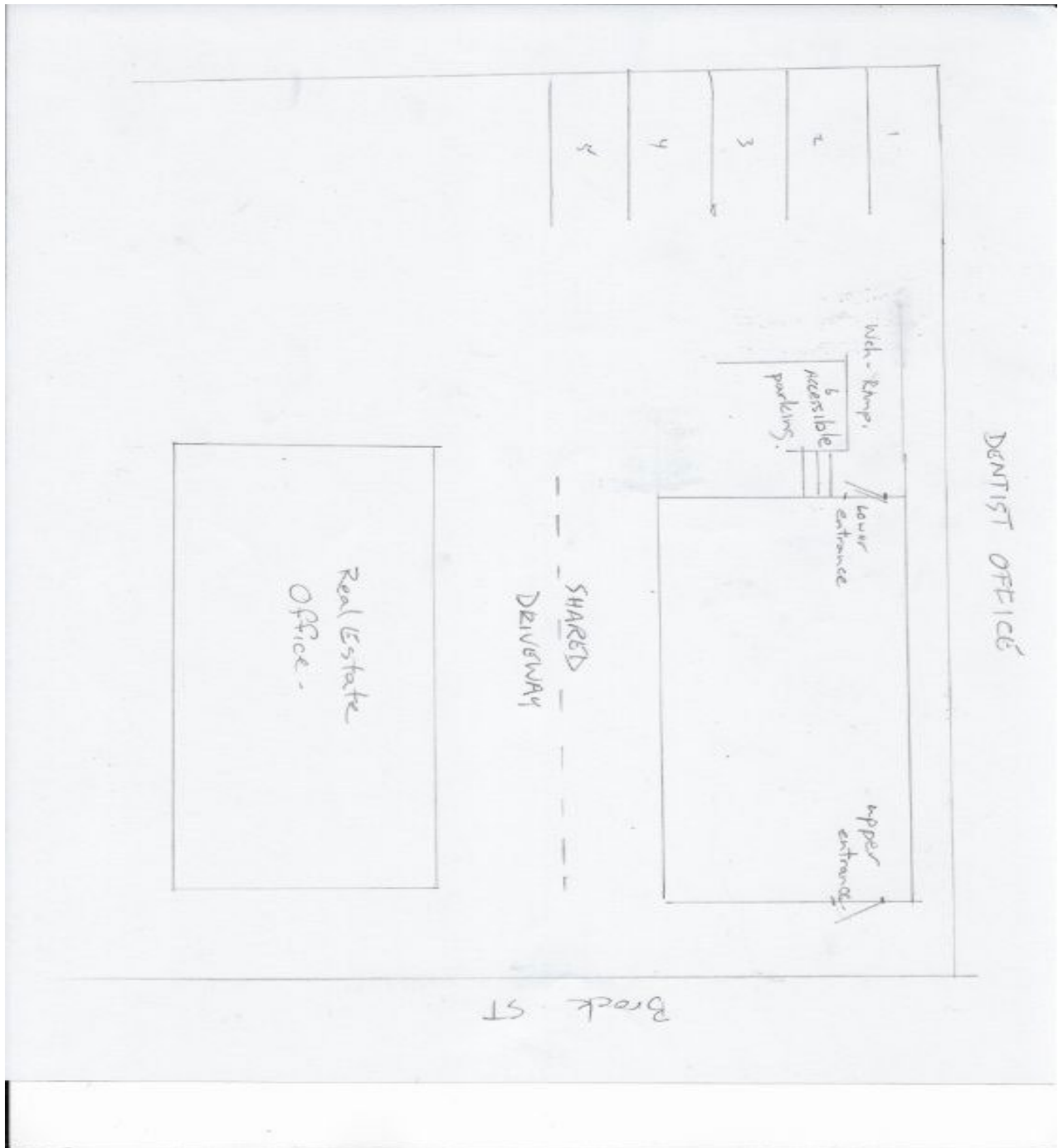


Rear yard. 4 to 6 parking spots.  
Green space from retaining wall to lot line approx 14'

COMMUNITY LIVING  
Tillsonburg

51 Brock St. East





Above show current parking spaces. 1 accessible spot and 5 regular spot. We are one spot short to accommodate both the residential requirement of 2 and the commercial requirement of 5.

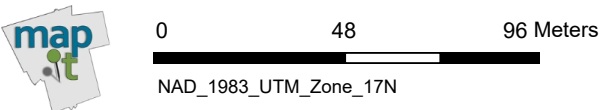
There is both road parking as well as town parking across the street which is open during business hours.



**Legend**

- Parcel Lines**
  - Municipal Boundary
  - Property Boundary
  - - - Assessment Boundary
  - Road
  - Unit
- Zoning Floodlines Regulation Limit**
  - ◆ 100 Year Flood Line
  - ▲ 30 Metre Setback
  - Conservation Authority Regulation Limit
  - Regulatory Flood And Fill Lines
- Land Use Zoning (Displays 1:16000 to 1:500)

**Notes**



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. This is not a plan of survey

April 21, 2026

# Report to the Board of Management

**From:** Mark Renaud, Executive Director

**Date:** April 7, 2026

**Subject:** Update to Memorandum of Understanding (MOU) for 2026 and 2025 TurtleFest Payments

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## Purpose

The purpose of this report is to provide the Board of Management with an update regarding the Memorandum of Understanding (MOU) between the Downtown Tillsonburg BIA and the TurtleFest Organizing Committee (TOC), and to outline the payments authorized by the TOC in relation to the 2025 TurtleFest event.

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## Background

The Downtown Tillsonburg BIA continues to play a significant operational, administrative, and logistical role in the delivery of TurtleFest. To improve clarity, transparency, and best practices, updates to the MOU are being discussed.

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## TurtleFest Organizing Committee Decision

At its meeting held on Tuesday, April 7, 2026, the TurtleFest Organizing Committee passed a motion authorizing payments to the Downtown Tillsonburg BIA in relation to the 2025 TurtleFest event as follows:

- **\$3,880** as previously authorized through a TOC-issued cheque requisition dated September 2025.
  - This payment was deposited into the BIA's bank account on April 8, 2026.
- **\$17,000** in additional funding, structured as follows:
  - **\$13,000** to be paid on or before May 15, 2026
  - **\$4,000** to be paid upon receipt of the HST reimbursement for TOC expenses through the annual credit from the Town of Tillsonburg

These payments represent compensation to the BIA for services rendered in support of the 2025 TurtleFest event.

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### **Transfer of Experience Ontario Funding**

An inter-company transfer between accounts was completed in April.

The board may recall that experienced costs for the festival exceeded \$38,000 which negatively impacted the BIA's financial results even at a 50% cost recovery.

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### **MOU Update and Governance Considerations**

As part of ongoing governance improvements, the following next steps have been identified:

- The TurtleFest Organizing Committee will meet with the BIA Executive Committee to develop an updated MOU for the 2026 event immediately following the April 29<sup>th</sup>, 2026 board meeting.
  - The Board of Management may wish to consider eliminating the current operating structure in favour of a revised model that improves administrative efficiency, financial clarity, and accountability.
- 

### **2026 Event Delivery Model Considerations**

The TOC has expressed a preference for a **fixed-price contract model** for the 2026 TurtleFest event, which would:

- Limit financial exposure to unexpected or variable costs
- Provide greater certainty for budgeting and planning purposes

The Executive Director has further recommended the implementation of **monthly financial and operational reporting** to:

- Monitor cost impacts in real time
  - Align expectations between the TOC and BIA
  - Support proactive decision-making
-

## Staff Recommendation

Staff recommends that the Board of Management consider a **fixed-price contract for the 2026 TurtleFest event**, at a lower overall value than in 2025, for the following reasons:

1. A larger proportion of BIA-incurred staffing costs are offset through external funding sources, including Employment Ontario and Canada Summer Jobs programs.
2. A fixed-price model would reduce the BIA's financial exposure and provide greater predictability in budgeting.
3. Enhanced reporting mechanisms would improve transparency and accountability under this model.
4. Revisions to the scope of work and realignment of responsibilities from the BIA to the committee where practical.
5. That variable compensation be implemented whereas a percentage of gross sponsorship revenues generated by the BIA result in a commission of 10% for those items identified and determined as "grants", not sponsorship or vendor fees.

Options for the fixed-price contract:

Option A – as suggested by the TOC – fixed price of \$7,100

Option B – BIA suggested – fixed price of \$8,000 which includes a 10% contingency allocation

Option C – Board determined fixed price contract or a hybrid with option to have billable costs supplemental to the fixed price component.

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## Financial Implications

The payments outlined above will be recorded as revenue to the BIA and has or will be reflected in the financial statements. The transfer of Experience Ontario funding represents a flow-through of funds held on behalf of the TOC and has no material impact on the BIA income statement.

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## Recommendation

That the Board of Management receive this report for information and provide direction regarding the preferred structure for the 2026 TurtleFest MOU and compensation.

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**MEMORANDUM OF UNDERSTANDING**  
**2026 TURTLEFEST PARTNERSHIP AGREEMENT**  
**BETWEEN**  
**DOWNTOWN TILLSONBURG BUSINESS IMPROVEMENT AREA (DTBIA)**  
**AND**  
**TILLSONBURG TURTLEFEST ORGANIZING COMMITTEE (TOC)**

**Page 1**

**1.0 STATEMENT OF INTENT**

The Tillsonburg TurtleFest Organizing Committee (TOC) and the Downtown Tillsonburg Business Improvement Area (DTBIA) enter this Memorandum of Understanding to establish a partnership that supports the financial health, operational effectiveness, and long-term sustainability of the annual TurtleFest event, while providing year-round organizational support. This Memorandum of Understanding (MOU) reflects the agreement in principle reached between the parties and ratified at the TOC meeting held on November 5, 2025. This agreement will be for 2026 TOC fiscal year.

**2.0 GUIDING PRINCIPLES**

- 2.1 The DTBIA will assist the TOC with all matters relating to the festival, including:
  - 2.1.1 Preparation of grants and external funding applications
  - 2.1.2 Budgeting and financial oversight in cooperation with the TOC finance committee.
  - 2.1.3 Reporting required by grant agreements
  - 2.1.4 Materials required for presentation to Tillsonburg Town Council
- 2.2 Provide leadership to the TOC throughout the calendar year, subject to annual renewal.
- 2.3 Initiate improvement projects that enhance the TurtleFest event.
- 2.4 Provide financial recommendations and technical resource assistance.
- 2.5 Support the TOC with governance practices including agendas, minutes, and record keeping.

## **Page 2**

- 2.6 Promote and raise the profile of the TurtleFest event.
- 2.7 Develop plans for continuous improvement of the festival.
- 2.8 Coordinate annual operating and capital plans where feasible.
- 2.9 Develop communication protocols to enhance festival effectiveness.
- 2.10 Provide for an annual review including a comprehensive summary for reporting to Tillsonburg Town Council.

## **3.0 MANDATES**

### **DTBIA Mandate**

- Promote the downtown core as the key business and shopping district.
- Activate public spaces through cultural events, pop-ups, and partnerships.
- Implement beautification and public-realm improvements, including floral programs.
- Deploy street furniture, banners, pots, bicycle racks, and other capital items.

### **TOC Mandate**

- Operate the town’s signature annual event in alignment with TOC mission and values.
- Promote TurtleFest as the premier annual event representing Tillsonburg.
- Recruit volunteers to maintain a strong committee structure.
- Conduct research and benchmarking against comparable festivals.

## **4.0 CONDITIONS PRECEDENT**

- 4.1 The TOC will continue to raise all funds through sponsorships and revenue-generating activities.
- 4.2 The TOC will indemnify the DTBIA from any financial losses of the festival.
- 4.3 The DTBIA will provide general liability insurance of \$5,000,000 as required by the Town of Tillsonburg.
- 4.4 The TOC will procure event cancellation insurance.

4.5 The DTBIA will provide year-round organizational support.

#### 4.6 Financial Controls and Cost Recovery

##### 4.6.1 Bank Account Administration

The TurtleFest bank account will remain under DTBIA administration. The TOC must submit a written cheque requisition for every payment. Each requisition must be signed by:

- Two TOC Finance Committee members including
- One DTBIA representative
- One non-DTBIA representative

Each cheque requisition must include:

- Category of expense
- Date of occurrence
- Cheque number
- Date of cheque issuance
- Supporting documentation (invoice, receipt, contract, or equivalent)

Cheque requisitions must be submitted within 7 days of delivery of goods or services and receipt of invoice.

No cheque will be issued without a completed requisition and all required documentation.

All payments must be made within 30 days of the date of the cheque requisition.

##### **4.6.2 Deposits**

All deposits will be documented at the time of deposit. Deposit documentation will be submitted to the TOC immediately upon occurrence, including source, amount, and date.

#### **4.6.3 Monthly Financial Reporting**

Bank statements and reconciliation summaries will be presented to the TOC Sub-Finance Committee each month, ensuring monthly financial activity is reviewed in the same month it occurs .

4.7 The DTBIA assumes no liability for legal, financial, or other judgments relating to the festival.

4.8 Records for the TOC will be kept confidential and stored according to best practices.

4.9 Disputes will be resolved collaboratively and in good faith.

4.10 The asset list will be updated annually and when new assets are acquired.

#### **4.11 Communications**

The TOC will provide updates to the community, Tillsonburg Town Council, and government agencies as required and as approved jointly by the TOC and the DTBIA.

##### **4.11.1 Attendance Data Sharing**

Any attendance data accessible to the DTBIA will be shared freely with the TOC.

#### **4.12 Compliance with Agreement**

Both parties agree to adhere to the terms and procedures outlined in this MOU and Appendix A. Issues of non-compliance will be reviewed jointly, including at least one DTBIA representative not serving on the TOC.

#### **4.13 Meeting Participation**

Either party may request to attend a regular meeting of the other party for matters related to TurtleFest, as a non-voting participant.

#### **4.14 Grant Applications**

The DTBIA will be responsible for preparing, submitting, ~~and~~ completing and reporting all grant applications related to TurtleFest. The TOC will provide a commission of 10 % on successful grant funding received, payable upon deposit of the grant funds into the TOC bank account. This will include all third party grant applications

**4.15 Cost Recovery Payment Structure**

The TOC will pay the DTBIA a cost-recovery amount of \$6,000, plus all applicable grant-application commissions. The total balance owing will be paid at the end of the TOC fiscal year. Any remaining balance will be paid upon receipt of the HST refund from the DTBIA.

**5.0 AMENDMENTS**

Amendments require mutual consent and will be considered at the annual review meeting.

**6.0 TERMS OF THE AGREEMENT**

6.1 The agreement will be reviewed annually and is effective January 1, 2026.

6.2 The TOC fiscal year concludes on August 31, 2026, and the annual review will occur after this date.

6.3 No term is conferred beyond the dates specified above.

**SIGNATURES**

**DOWNTOWN TILLSONBURG BUSINESS IMPROVEMENT AREA**

Authorized Representative

\_\_\_\_\_

Date: \_\_\_\_\_

**TURTLEFEST ORGANIZING COMMITTEE**

Authorized Representative

\_\_\_\_\_

Date: \_\_\_\_\_

## **APPENDIX A – COST SCHEDULE (2026)**

### **1. Purpose**

This Cost Schedule establishes the financial framework for DTBIA cost recovery related to the planning, administration, and delivery of the 2026 TurtleFest event.

### **2. Annual Cost Recovery Structure**

The total amount payable by the TOC to the DTBIA for 2026 shall not exceed \$10,000, inclusive of fixed fees and capped actual costs.

### **3. Fixed Annual Fee – \$7,000**

#### **Covers:**

- Administrative, coordination, design, grant-writing, operational planning, and financial tracking support.

Any increases must be presented to and reviewed by the TOC prior to approval.

- Operational support during the festival period.

- Office and printing costs (ink, paper, poster paper, large-format printing, general supplies).

- Software and digital tools used for festival materials and communications.

Hours must be tracked monthly and reported to the TOC as part of the monthly financial reporting process

### **4. Actual Costs (Capped at \$3,000)**

No additional categories may be billed without prior written approval from the TOC Committee.

## **5. Billing and Reporting Requirements**

- Monthly bank statements and reconciliation summaries will be presented to the TOC Sub-Finance Committee.
- All disbursements require two DTBIA signatures.
- All cheques must be supported by a TOC cheque requisition.
- All deposits will be documented and submitted to the TOC at the time they occur.
- Costs not previously documented or approved under this schedule shall not be invoiced retroactively.

## **6. Total Maximum Cost for 2026**

The total cost payable by the TOC to the DTBIA shall not exceed \$10,000.

No costs may be charged or recovered without prior approval by the TOC.

Total cost payable will be paid after event and prior to the end of the fiscal year.

## **7. Dispute Resolution**

Any disagreement regarding costs will be addressed collaboratively, with reference to this Cost Schedule and the guiding principles of the MOU.

## MKE 26-04-01

### Street Scape Update

The team has been actively working to develop design options for new street name signage within the downtown core (images are attached below for your review). While font styles can be adjusted, it is recommended that a bolder font be used to ensure visibility and readability from a distance. It is important that these signs contribute to a strong sense of place and are immediately recognizable to the public as part of the downtown core.

We are also exploring options to repurpose the street pole banners purchased in 2023 so they better align with our current branding. In addition, all future streetscape purchases will be made with our updated brand in mind. For example, we will be incorporating teal, navy or black umbrellas for downtown tables to create a more consistent and recognizable look.

### Social Media Restructuring

As part of our broader marketing strategy, we will be restructuring our social media approach to ensure greater consistency and alignment with our organizational goals. Moving forward, our content will be guided by six key pillars that reflect both our strategic priorities and the interests of our community.

1. **Storytelling:** Sharing the story of the BIA, including our mission, initiatives, and ongoing involvement within the community, to build awareness and strengthen our overall brand presence.
2. **Downtown Tillsonburg Gift Card:** Increasing visibility and usage of the gift card program through targeted and consistent promotion.
3. **Anniversary Recognition:** Highlighting business milestones such as openings and anniversaries to celebrate and support our local business community.
4. **Meet the Owner Campaign:** Showcasing the people behind the businesses to foster stronger connections between business owners and the community.
5. **Events:** Promoting BIA-led events to drive attendance and engagement in the downtown.
6. **Filler Content:** Providing flexibility to share timely, relevant, or seasonal content as needed to maintain an active and engaging presence.

This structured approach will allow for more strategic content planning and stronger alignment with our key initiatives and promotional efforts.

## Tillsonburg TurtleFest Update

The street layout for the Block Party on June 20 has now been finalized. As a result, we are able to welcome additional vendors from our waitlist to fill Brock Street West and the remaining portion of Bridge Street between Broadway and Bidwell Street. We currently have 120 vendors registered, including a mix of BIA members, non-profits, food trucks, general vendors, and young entrepreneurs.

With the addition of Tamara Cooper to the BIA team and TurtleFest Committee, significant progress has been made in strengthening and elevating the TurtleFest brand. We encourage you all to visit the website at [turtlefest.ca](http://turtlefest.ca) to see the latest updates.

A proposal has also been submitted to Spectra Print & Signs to explore a partnership or in-kind sponsorship to support signage production. This initiative would include six street pole banners featuring our Diamond sponsors, along with A-frame signage, large-format sponsor recognition pieces, event schedules, wayfinding signage, and stage banners.

## Constant Contact Update

The following update was shared with our membership to ensure they are informed of provincial developments, while also highlighting the role that coordinated BIA advocacy plays in influencing policy outcomes that support our local business community.



## 2026 Ontario Budget: What It Means for Small Businesses

Downtown Tillsonburg BIA, alongside many BIAs across Ontario, play a vital role in advocating for policies and investments that support small businesses and strengthen Main Streets. These collective efforts help ensure that the needs of local businesses are heard and reflected in provincial decision-making and we will continue to work to represent YOU, our small business community.

The 2026 Ontario Budget includes several measures that will directly impact small businesses and Main Streets across the province. While broader investments focus on economic stability and resilience, there are a few key updates of particular relevance to BIAs and their members:

### 1. Small Business Tax Cut

The Province is proposing to reduce the small business corporate income tax rate from 3.2% to 2.2% (effective July 1, 2026).

#### ***What this means:***

- Up to \$5,000 in annual savings per small business
- Over 375,000 Ontario businesses expected to benefit
- More flexibility for businesses to reinvest in staff, operations, and growth

This is a significant, direct support measure that will help businesses manage rising costs and improve long-term sustainability.

## **2. Investment in Entrepreneurship Programs**

Ontario is investing:

- \$9.4 million over 3 years to renew Summer Company and Starter Company Plus
- \$3 million over 3 years to expand Small Business Enterprise Centre (SBEC) services

### ***What this means:***

- Continued support for new business start-ups and early-stage entrepreneurs
- Expanded advisory services and programming in communities across Ontario
- Strengthening the pipeline of future Main Street businesses

## **3. Continued Focus on Housing & Affordability**

The budget continues to prioritize housing supply and affordability measures.

### ***What this means for Main Streets:***

- Ongoing opportunity to advocate for upper-floor conversions and adaptive reuse (stay tuned for a report on this to be released shortly)
- Potential to increase downtown residential density, foot traffic, and local spending

## **4. Tourism & Economic Development**

The budget maintains investments in tourism and regional economic development.

### ***What this means:***

- Continued support for destination development and local economies
- Opportunity to advocate for BIAs as eligible partners in tourism funding and programming

## **What's Next for the BIA Marketing Team?**

- Late Night Thursday planning with membership
- SPC Program (Student Price Card)
- Welcome Package
- Q3 & Q4 event planning

***Thank you Board Members for your continuous hard work, contributions and dedication to the betterment of Downtown Tillsonburg.***

DOWNTOWN  TILLSONBURG

**RIDOUT ST. E**

— Option 1

EST 1978

DOWNTOWN  TILLSONBURG

**RIDOUT ST. E**

Option 2 —

EST 1978

DOWNTOWN  TILLSONBURG

**RIDOUT ST. E**

— Option 3

EST 1978

# Profit and Loss

Downtown Tillsonburg BIA

January-April, 2026

	Total
<b>Income</b>	
4055 MOU Income from Town of Tillsonburg	\$19,653.00
4800 Sales	\$8,921.28
4805 Social media	\$176.99
<b>Total for 4800 Sales</b>	<b>\$9,098.27</b>
<b>REVENUE</b>	
4005 BIA LEVY	
4100 Taxes - regular	\$80,026.68
<b>Total for 4005 BIA LEVY</b>	<b>\$80,026.68</b>
4215 Wage Subsidy	\$5,511.50
4370 Truck & trailer graphic sponsorships	\$2,130.00
4395 Office rental income	\$6,994.69
4400 Turtlefest Income	\$9,265.00
4450 Interest Income	\$0.59
<b>Total for REVENUE</b>	<b>\$103,928.46</b>
<b>Total for Income</b>	<b>\$132,679.73</b>
<b>Gross Profit</b>	<b>\$132,679.73</b>
<b>Expenses</b>	
<b>BEAUTIFICATIONS</b>	
5650 PUC Bulb Replacement	\$2,605.58
<b>Total for BEAUTIFICATIONS</b>	<b>\$2,605.58</b>
<b>MARKETING/PROMOTION</b>	
6305 Marketing and Events	\$1,737.91
6318 Marketing Production	\$223.48
6350 Seasonal Promotions	\$191.48
<b>Total for MARKETING/PROMOTION</b>	<b>\$2,152.87</b>
<b>OPERATIONS</b>	
2120 Turtlefest Expense	\$6,814.43
<b>7000 COST OF LABOUR</b>	
7150 Executive Director	\$20,643.46
7160 Events & Marketing Co-ordinator	\$18,203.04
7170 Hourly Part Time Staff	\$31,480.60
7222 EI	\$1,470.12
7223 CPP	\$3,198.95
7226 Benefits - Health & Dental	\$1,495.74
7455 ADP Payroll Service	\$417.98
<b>Total for 7000 COST OF LABOUR</b>	<b>\$76,909.89</b>
7005 Bank and other Interest	\$582.46
7205 HST	\$26.34
7235 Maintenance supplies	\$393.73

# Profit and Loss

Downtown Tillsonburg BIA

January-April, 2026

	Total
7240 Office Utilities	\$1,671.76
7260 Office Supplies/Equipment	\$239.52
7270 Membership fees, dues & subscriptions	\$2,932.02
7280 IT & Phone	\$1,980.98
7450 Office Expense	\$3,228.09
7460 Telephone Expense	\$101.56
7500 Computer and Internet Expenses	\$666.49
7550 Professional Fees	\$5,940.17
7600 Software Expenses	\$207.29
7650 Rent	\$4,000.00
VEHICLE EXPENSES	
7110 Vehicle Operating Costs	\$982.41
7120 Vehicle Lease	\$2,757.30
7130 Vehicle Insurance	\$1,151.53
<b>Total for VEHICLE EXPENSES</b>	<b>\$4,891.24</b>
<b>Total for OPERATIONS</b>	<b>\$110,585.97</b>
<b>Total for Expenses</b>	<b>\$115,344.42</b>
<b>Profit</b>	<b>\$17,335.31</b>



## Calculation of Approved Canada Summer Jobs Contribution Amount

NOTE: Each approved job can only be filled by one youth.

<b>Project Number</b>	021301197
<b>Business Number</b>	773068333RP0001
<b>Common Name</b>	Downtown Tillsonburg BIA
<b>Legal Name</b>	Town of Tillsonburg BIA

Job title	No. of jobs	Anticipated Start Date	No. of weeks per job	Hrs. per week per job	Total hours	Hourly rate paid to participant	ESDC hourly rate contribution	MERCs*	Accommodation costs	Approved ESDC contribution
digital marketing coordinator	1	2026/05/11	8	30	240	\$ 18.00	\$ 17.60	654	\$ 0.00	\$ 4,878.00
ambassador	1	2026/05/25	9	30	270	\$ 18.00	\$ 17.60	736	\$ 0.00	\$ 5,488.00
ambassador	1	2026/06/15	9	30	270	\$ 17.75	\$ 17.60	736	\$ 0.00	\$ 5,488.00
<b>Total</b>	<b>3</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>780</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>\$ 15,854.00</b>

\* MERCs = Mandatory Employment Related Costs

Start date and end date of Agreement: 2026/04/20 - 2026/08/29

32. Approved ESDC contribution \$ 15,854.00	33. Signature on behalf of ESDC CALABRESE, EUGENE	34. Position Title Service Manager	35. Date 2026-04-07 14:55:07
36. Amendment number: 0	37. Signature on behalf of the organization* (may be required)	38. Position Title	39. Date

\*I certify that I am authorized to sign on behalf of the Organization.